

Sheet List	
Sheet Number	Sheet Name
A000	COVER SHEET, ZONING
A001	SITE PLAN
A101	FLOORPLAN, DOOR AND WINDOW SCHEDULES
A102	ROOF PLAN AND RCP
A103	EXTERIOR ELEVATIONS
A104	BUILDING SECTIONS
A105	BUILDING SECTIONS
A106	DOOR, WINDOW AND WALL DETAILS
A107	DETAILS

ZONING & PARCEL INFORMATION:

APN:
 PARCEL TYPE:
 ACREAGE:
 ZONING:
 BASE YEAR:
 ASSESS DESC:
 PRINCIPAL MERIDIAN CODE
 PRINCIPAL MERIDIAN TEXT
 RANGE DIRECTION
 RANGE FRACTION
 RANGE NUMBER
 STATE ABBREVIATION
 TOWNSHIP DIRECTION
 TOWNSHIP DUPLICATE
 TOWNSHIP FRACTION
 TOWNSHIP IDENTIFIER
 TOWNSHIP LABEL
 TOWNSHIP NUMBER

CONSTRUCTION NOTES:

Construction work is limited to the hours of seven a.m. to seven p.m., Monday through Friday, and eight a.m. to six p.m. on Saturday. No work shall be performed on the following public holidays: New Year's Day, Independence Day, Thanksgiving, Christmas, Memorial Day or Labor Day.

LEGAL DESCRIPTION:

BUILDING AREA TABULATION:

Proposed 1st Floor = 2,300 Sq. Ft.

EARTHWORK QUANTITIES:

CUT QUANTITIES: 11,403.09 Cyd
 FILL QUANTITIES: 1,470.08 Cyd
 IMPORT / EXPORT: 0 Cyd
 MAX CUT DEPTH: 0 Ft.
 MAX FILL DEPTH: 0 Ft.

THE PROJECT PROPOSED TO EXPORT 10 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGE TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF MATERIAL, ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

**APPROX. IMPERVIOUS TABLE:
 EXISTING TO REMAIN UNCHANGED**

TOTAL DISTURBANCE AREA: 4,140.44 Sq. Ft.
 EXISTING AMOUNT OF IMPERVIOUS AREA (House, Driveway and Backyard) 0.00 Sq. Ft.
 TOTAL IMPERVIOUS AREA: 4,140.44 Sq. Ft.

GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY CONDITIONS WHICH WILL REMAIN AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THEREOF.
- ALL DIMENSIONS TO BE FROM FACE OF STUD U.N.O.
- ALL DIMENSIONS MARKED 'CLR' OR 'CLEAR' ARE TO FACE OF FINISH, TYP.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS OR CODES, REGULATIONS OR RULES OF JURISDICTIONS HAVING AUTHORITY.
- PRIOR TO THE COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER PROVIDED INFORMATION AND SITE CONDITIONS, INCLUDING TAKING FIELD MEASUREMENTS AS NECESSARY.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- REPETITIVE FEATURES ARE NOT NECESSARILY INDICATED IN THE DRAWINGS. EVERYWHERE THAT THEY OCCUR, THEY SHALL BE PROVIDED AS IF DRAWN IN FULL, ESPECIALLY FOR ITEMS STANDARD TO MODERN CONSTRUCTION MEANS AND METHODS FOR THE VARIOUS CIRCUMSTANCES ENCOUNTERED. NOT EVERY ITEM TYPICALLY ENCOUNTERED IN MODERN CONSTRUCTION AND DESIGN IS NECESSARILY INCLUDED HEREIN. THESE DOCUMENTS ARE ORIENTED TOWARD ACHIEVING THE BUILDING PERMIT.
- DO NOT SCALE THE DRAWINGS.

PROJECT TEAM:

OWNER:

ARCHITECTURE AND ENGINEERING:

APPLICABLE BUILDING CODES:

ALL THE CONSTRUCTION MATERIALS WILL COMPLY WITH CALIFORNIA BUILDING CODES AND REGULATIONS, AND CITY OF SAN DIEGO APPLICABLE CODES.

- 2019 California Building Code
- 2019 California Electrical Code
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Fire Code
- 2019 California Energy Code
- 2019 California Residential Code
- 2019 California Green Building Standards Code

CODE ANALYSIS:

OCCUPANCY GROUP
 TYPE OF CONSTRUCTION
 NUMBER OF STORIES
 FIRE SPRINKLERS

Residential:
 V-B
 1
 None present, none proposed

PROJECT DESCRIPTION:

This project is the design of a new 2300 SF house.

VICINITY MAP:

NEIGHBORHOOD MAP:



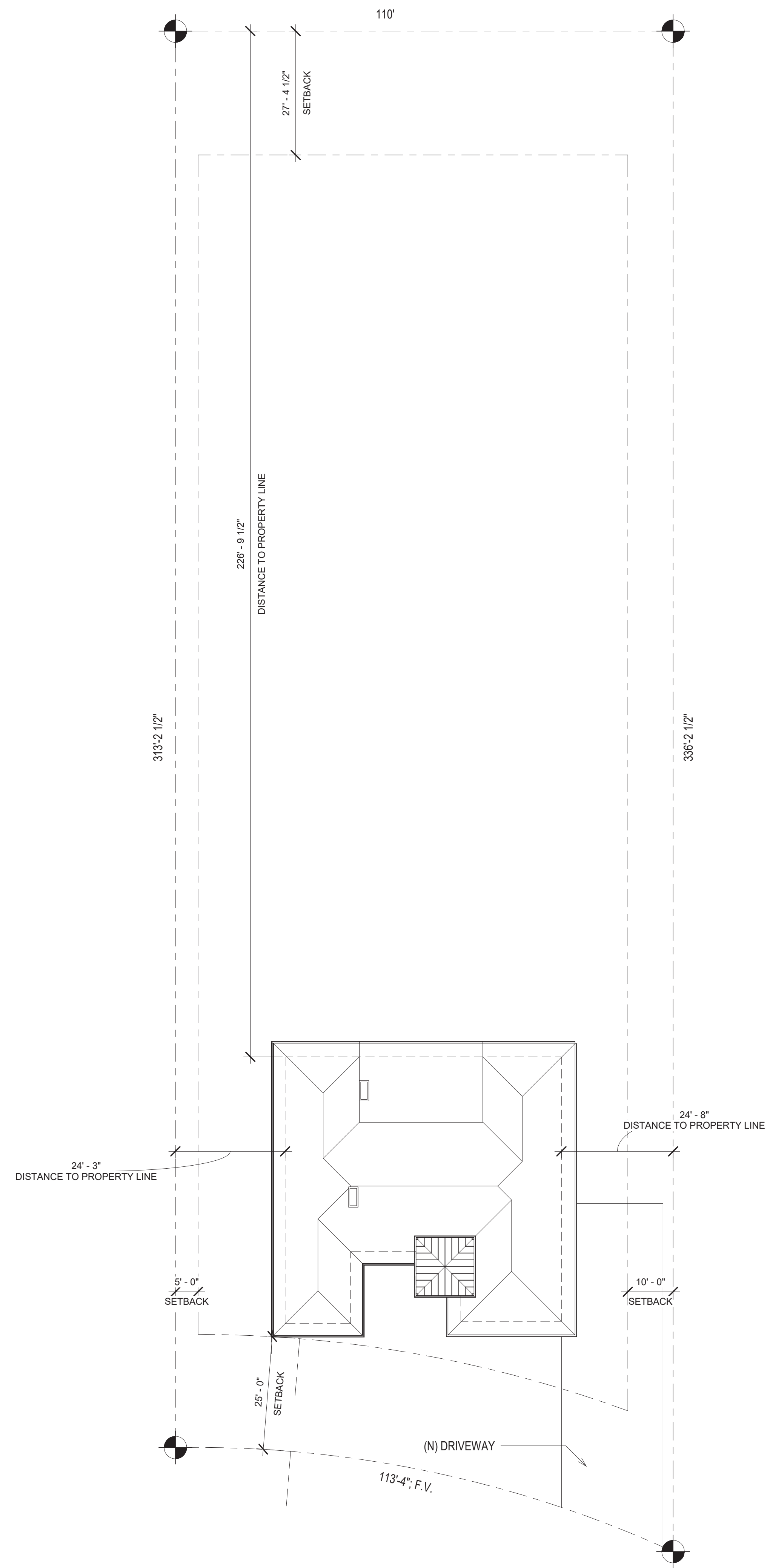
NORTH



NORTH



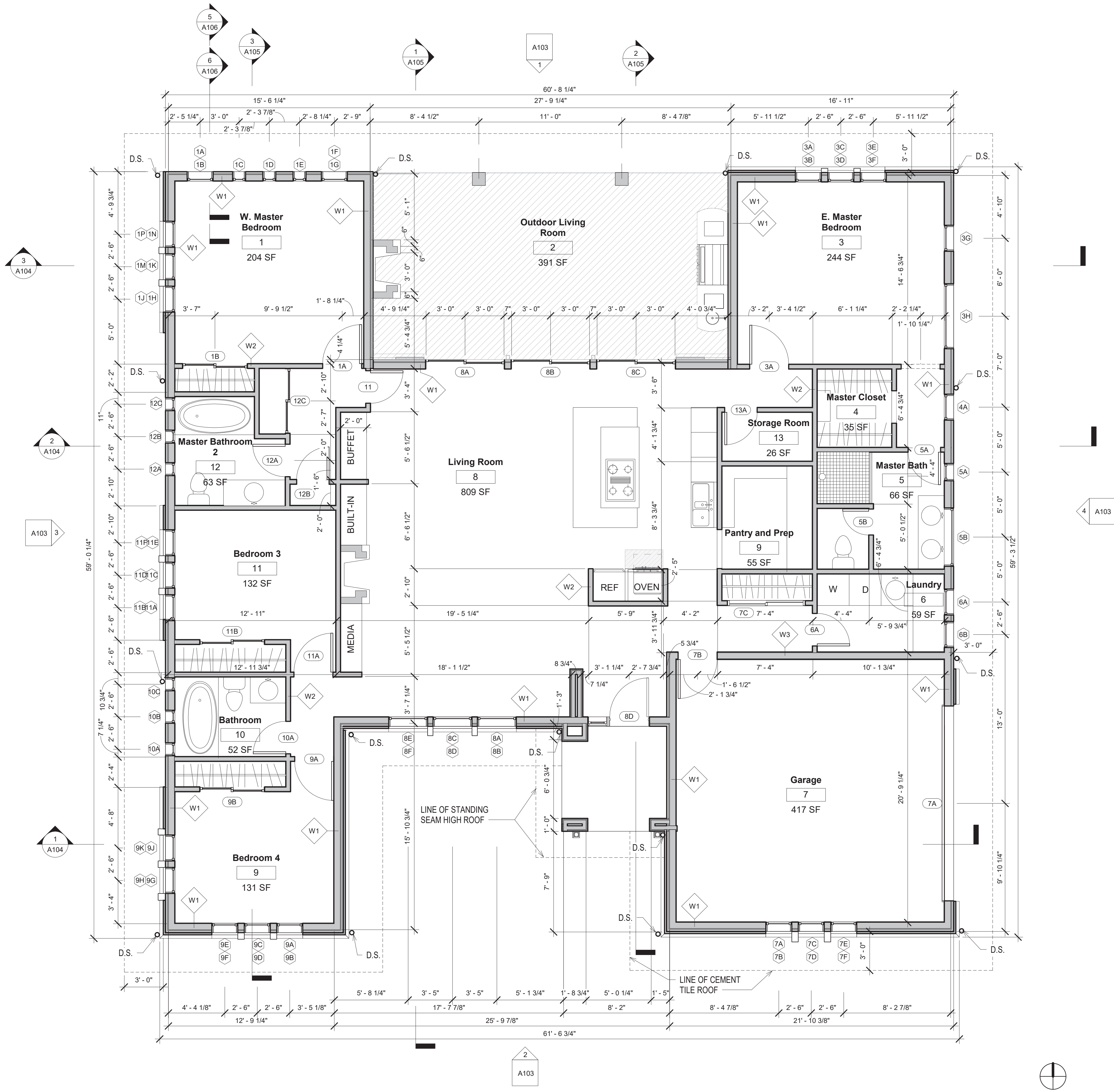
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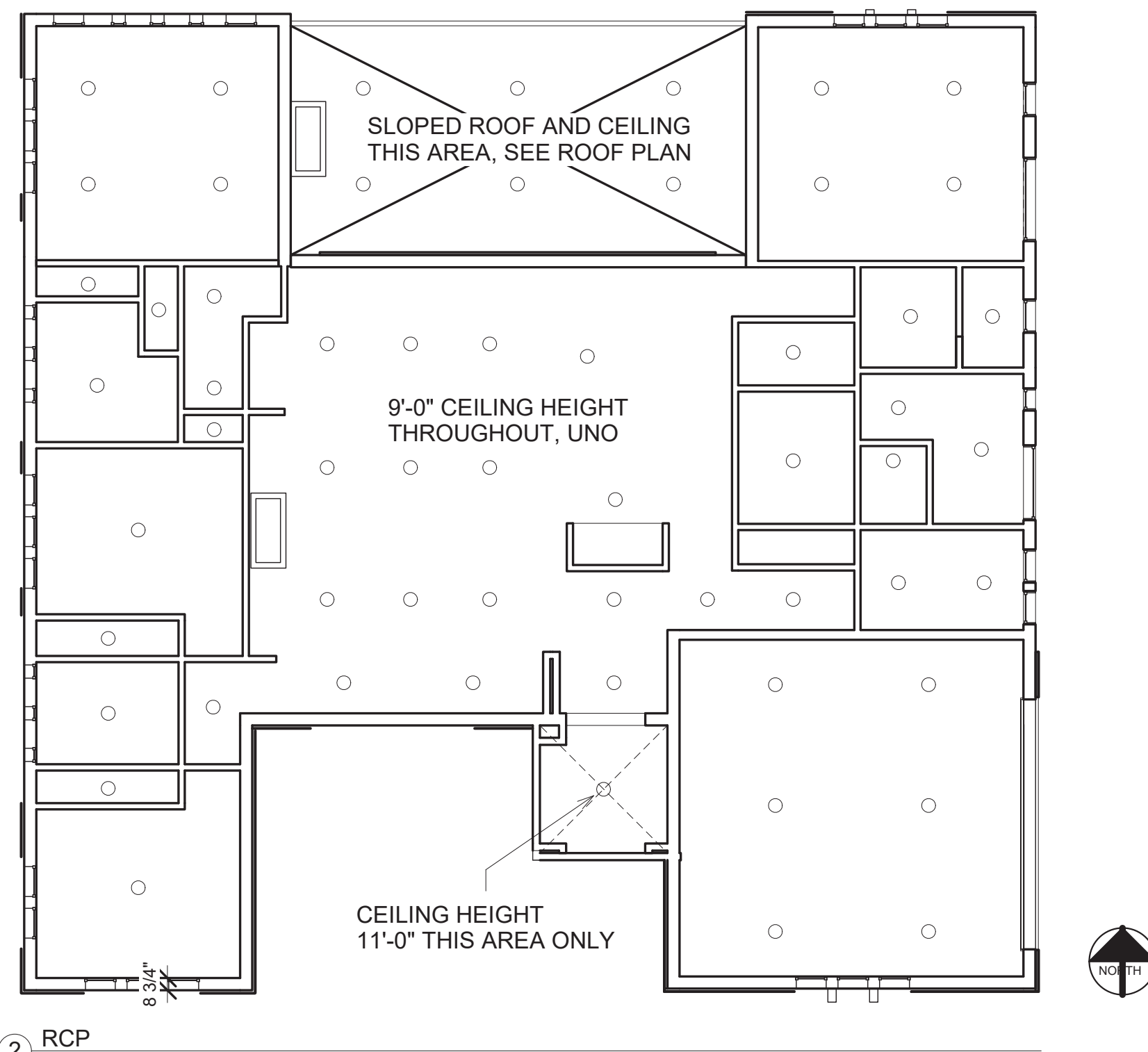
① PROPOSED SITE WITH HOUSE
 1/16" = 1'-0"

Door Schedule			
Mark	Width	Height	Comments
1A	3'-0"	7'-0"	
1B	4'-11"	7'-0"	
3A	3'-0"	7'-0"	
5A	2'-6"	6'-8"	
5B	2'-0"	6'-8"	
6A	2'-6"	7'-0"	
7A	15'-0"	8'-0"	
7B	3'-0"	7'-0"	
7C	6'-0"	7'-0"	
8A	6'-0"	7'-0"	
8B	6'-0"	7'-0"	
8C	6'-0"	7'-0"	
8D	3'-0"	8'-0"	
9A	3'-0"	7'-0"	
9B	4'-11"	7'-0"	
10A	2'-6"	7'-0"	
11	2'-6"	6'-8"	
11A	3'-0"	7'-0"	
11B	4'-11"	7'-0"	
12A	2'-6"	6'-8"	
12B	2'-6"	6'-8"	
12C	4'-11"	7'-0"	
13A	2'-6"	6'-8"	

Window Schedule			
Mark	Width	Height	Comments
1A	2'-0"	4'-6"	
1B	2'-0"	1'-0"	
1C	1'-0"	1'-0"	
1D	1'-0"	1'-0"	
1E	1'-0"	1'-0"	
1F	2'-0"	1'-0"	
1G	2'-0"	4'-6"	
1H	2'-0"	1'-0"	
1J	2'-0"	4'-6"	
1K	2'-0"	1'-0"	
1M	2'-0"	4'-6"	
1N	2'-0"	4'-6"	
1P	2'-0"	1'-0"	
3A	2'-0"	4'-6"	
3B	2'-0"	1'-0"	
3C	2'-0"	4'-6"	
3D	2'-0"	1'-0"	
3E	2'-0"	4'-6"	
3F	2'-0"	1'-0"	
3G	2'-0"	4'-6"	
3H	5'-0"	1'-0"	
4A	2'-0"	4'-6"	
5A	1'-4"	2'-0"	
5B	4'-6"	2'-0"	
6A	2'-0"	4'-6"	
6B	2'-0"	4'-6"	
7A	2'-0"	1'-0"	
7B	2'-0"	4'-6"	
7C	2'-0"	1'-0"	
7D	2'-0"	4'-6"	
7E	2'-0"	1'-0"	
7F	2'-0"	4'-6"	
8A	3'-0"	4'-6"	
8B	3'-0"	1'-0"	
8C	3'-0"	4'-6"	
8D	3'-0"	1'-0"	
8E	3'-0"	1'-0"	
8F	3'-0"	4'-6"	
9A	2'-0"	1'-0"	
9B	2'-0"	4'-6"	
9C	2'-0"	1'-0"	
9D	2'-0"	4'-6"	
9E	2'-0"	1'-0"	
9F	2'-0"	4'-6"	
9G	2'-0"	4'-6"	
9H	2'-0"	1'-0"	
9J	2'-0"	4'-6"	
9K	2'-0"	1'-0"	
10A	1'-0"	1'-0"	
10B	1'-0"	1'-0"	
11A	2'-0"	4'-6"	
11B	2'-0"	1'-0"	
11C	2'-0"	4'-6"	
11D	2'-0"	1'-0"	
11E	2'-0"	4'-6"	
11F	2'-0"	1'-0"	
12A	1'-0"	1'-0"	
12B	1'-0"	1'-0"	
12C	1'-0"	1'-0"	



1 FINISH FLOOR - FLOOR PLAN
1/4" = 1'-0"



② RCP
1/8" = 1'-0"

REFLECTED CEILING PLAN NOTES:

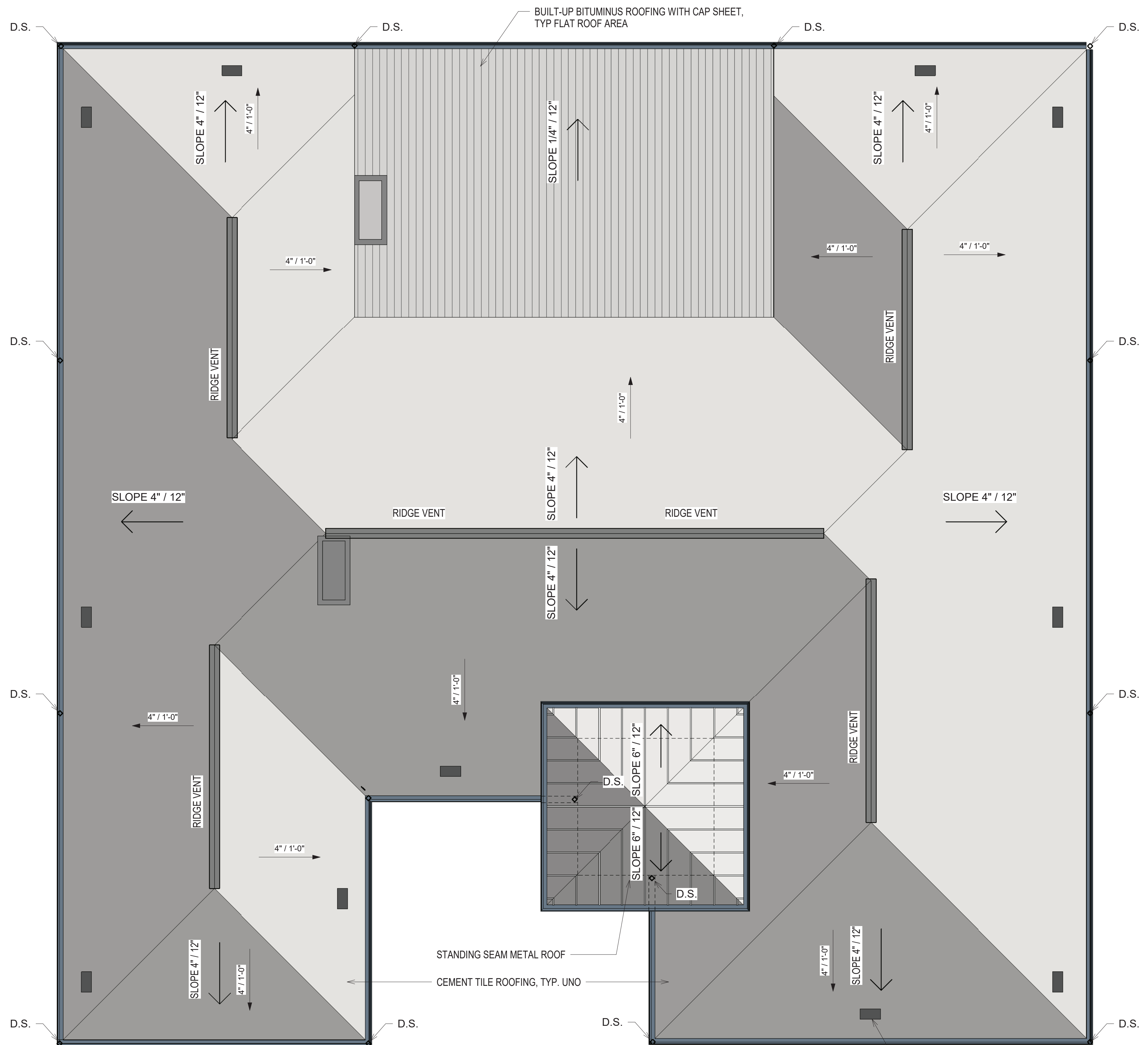
INTERIOR CEILINGS: 5/8" TYPE 'X' GYP BOARD OVER WOOD FRAMING PER STRUCTURAL PLANS FOR CEILING FRAMING AND INSULATION PER MECHANICAL ENGINEER'S RECOMMENDATION.

ROOF PLAN NOTES:

1. ALL ROOF AREAS SHALL SLOPE A MINIMUM 4" PER FOOT.
2. FOR ROOF FRAMING REFER TO STRUCTURAL DRAWINGS.
3. SEE STRUCTURAL DRAWINGS FOR FRAMING AND SHEATHING REQUIREMENTS.
4. ROOFING MATERIAL DESCRIPTION: EAGLE LITE RED ROOF CEMENT TILES OVER 1 X 2 HORIZONTAL AND VERTICAL BATTENS OVER UNDERLAYMENT OVER 5/8" PLYWOOD SHEATHING, PER STRUCTURAL PLANS, AND PER MANUFACTURER'S SPECIFICATIONS.
5. STANDING SEAM ROOF, PER CONTRACTOR'S SELECTION TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.

GENERAL NOTES:

1. ALL HORIZONTAL AND VERTICAL DIMENSIONS TO BE VERIFIED IN THE FIELD PRIOR TO ANY WORK.
2. EXTERIOR IS FINISHED WITH 7/8" EXTERIOR PLASTER (THREE COATS) OVER SELF-FURRING DIAMOND MESH OVER 2- LAYERS OF GRADE 'D' PAPER ON PLYWOOD WITH R-21 BATT INSULATION.
3. INTERIOR WALLS 2 X 4 WOOD STUDS AT 16" O.C. TO THE UNDERSIDE OF THE ROOF FRAMING WITH 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE FULL HEIGHT WITH BATT INSULATION.
4. SLOPE FINISHED EXTERIOR DECK AWAY FROM BUILDING 2% MAXIMUM AND 1% MINIMUM.
5. ALL OCCUPIABLE SPACES TO BE INSULATED WITH MINIMUM R-21 IN EXTERIOR WALLS AND R-30 IN ATTIC CEILING / ROOF SPACES.
6. REFER TO STRUCTURAL PLANS FOR SIZES AND CONNECTIONS OF ALL STRUCTURAL ELEMENTS.
7. THE PURPOSE OF ALL BUILDING SECTIONS IS TO CLARIFY DESIGN INTENT. REFER TO FLOOR PLANS, REFLECTED CEILING PLANS, ROOF PLANS, AND ELEVATIONS PRIOR TO COMMENCING OR PROCEEDING WITH THE WORK.
8. CONCRETE SLAB AND ROOF FRAMING, SEE STRUCTURAL DRAWINGS.
9. NOTIFY ARCHITECT IF ANY INCONSISTENCIES OR DISCREPANCIES FOUND WITHIN PLANS IN RELATION TO EXISTING FIELD CONDITIONS.
10. WRITTEN DIMENSIONS IN CONSTRUCTION DOCUMENTS TAKE PRECEDENCE OVER ANY SCALED DRAWINGS.
11. DIMENSIONS ARE FROM THE FACE OF FINISH WALL (GWB) TO FACE OF FINISH WALL (GWB), UNLESS OTHERWISE NOTED ON DRAWINGS.
12. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONS IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS / OR INSTRUCTIONS.
13. ALL WORK SHALL BE EXECUTED IN A MANNER ACCEPTABLE TO THE OWNER, UNLESS OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION, AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF WORK.
14. THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT ARE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK SHALL BE AS SPECIFIED AND FREE OF DEFECTS.
15. ALL OUTSIDE CORNERS AT DRYWALL PARTITIONS AND FURRING TO HAVE METAL CORNER BEADS, SPACKLE AND SMOOTH.
16. PROVIDE DIAGONAL BRACING TO STRUCTURE ABOVE ALL NEW DOORS, GLAZING HEADS AND JAMBS, AS REQUIRED TO MAKE ASSEMBLY RIGID.
17. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEANUP OF THE AREA OF WORK AND AREA AFFECTED BY CONSTRUCTION, TO INCLUDE, BUT NOT LIMITED TO FLOORS, MILLWORK, FIXTURES, ETC., FOLLOWING THE INSTALLATION OF THE MILLWORK.
18. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS FOR THE WALL MOUNTED TELEVISION AND GRAPHIC SIGNAGE TO PROVIDE BLOCKING FOR MOUNTING.
19. ALL WET PLUMBING WALLS ARE TO BE PROVIDED WITH MOISTURE RESISTANT GYP BOARD. UNLESS TILE IS TO BE USED THEN PROVIDE CEMENT BACKER BOARD.



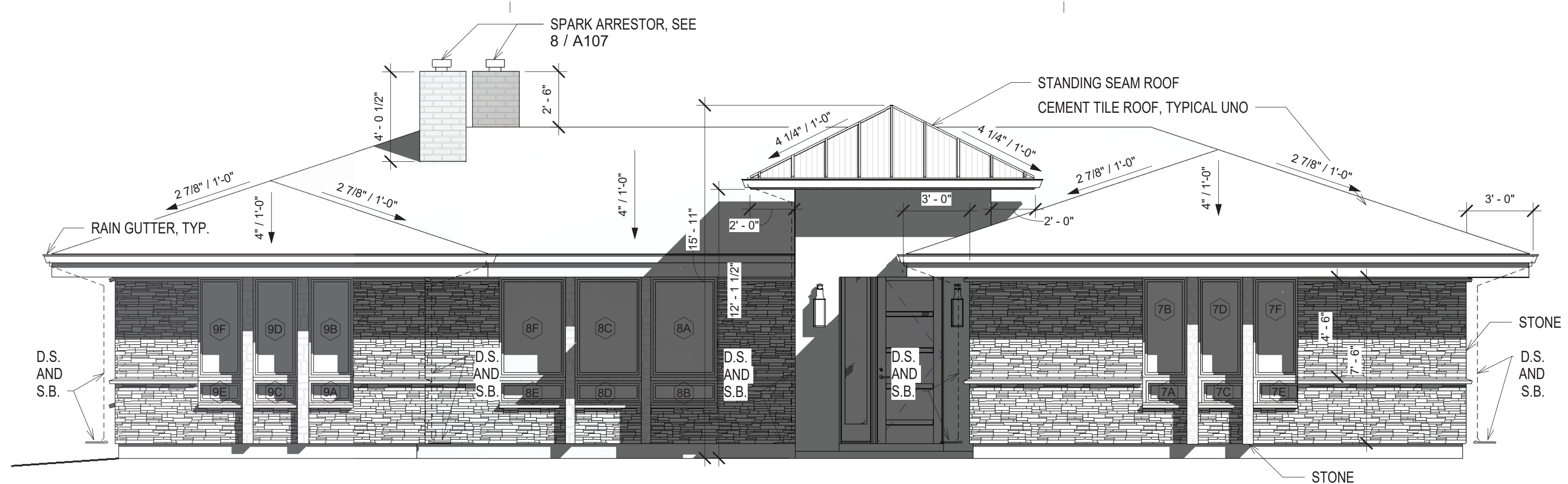
ROOF RELATED REQUIREMENTS:

1. PITCH INDICATED
2. ROOF COVERING MATERIAL (E) ASPHALT SHINGLES AND ROOFING FELT.
3. CONTRACTOR TO FIELD VERIFY ASPHALT SHINGLE MANUFACTURER, MODEL NAME, NUMBER AND EVALUATION REPORT; TO MATCH OR EXCEED THAT OF EXISTING ROOF
4. CONTRACTOR TO VERIFY THAT ASPHALT SHINGLE UNDERLAYMENT CONFORMS TO ASTM D226 TYPE I (NO. 15 ASPHALT FELT), ASTM D4869 TYPE I, OR ASTM D6757. SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL COMPLY WITH ASTM D 1970.
5. ASPHALT SHINGLES SHALL BE USED ONLY ON SLOPES OF 2:12 OR GREATER. FOR ROOF SLOPES FROM 2:12 TO 4:12, DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED.
6. (CRC R905.2.8) - FLASHING FOR ASPHALT SHINGLE ROOFS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 1. BASE AND CAP FLASHING
 2. FRONT WALL, VENT PIPE AND CHIMNEY
 3. DRIP EDGE AT EAVES AND GABLES
7. CLASS 'A' ROOF ASSEMBLY IS ONE TESTED IN ACCORDANCE WITH ASTM E 108 OR UL 790. THE MINIMUM ROOF COVERINGS INSTALLED ON BUILDINGS SHALL COMPLY WITH TABLE 1505.1 BASED ON THE TYPE OF CONSTRUCTION OF THE BUILDING.

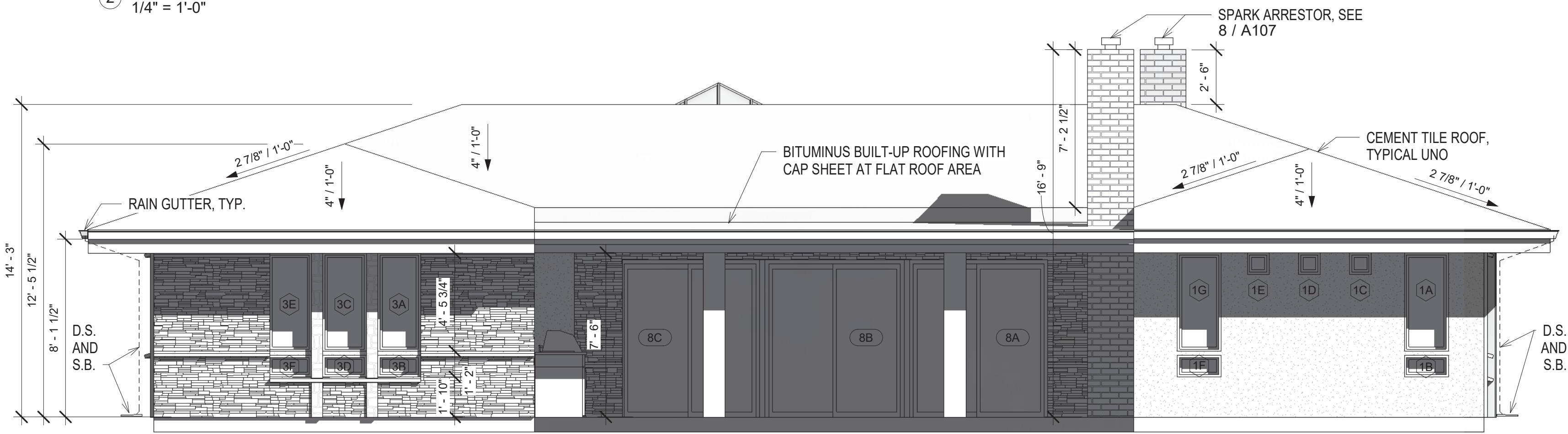
① ROOF BEARING
1/4" = 1'-0"

ROOF VENTILATION CALCULATION: ALL EQUIPMENT IS TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS

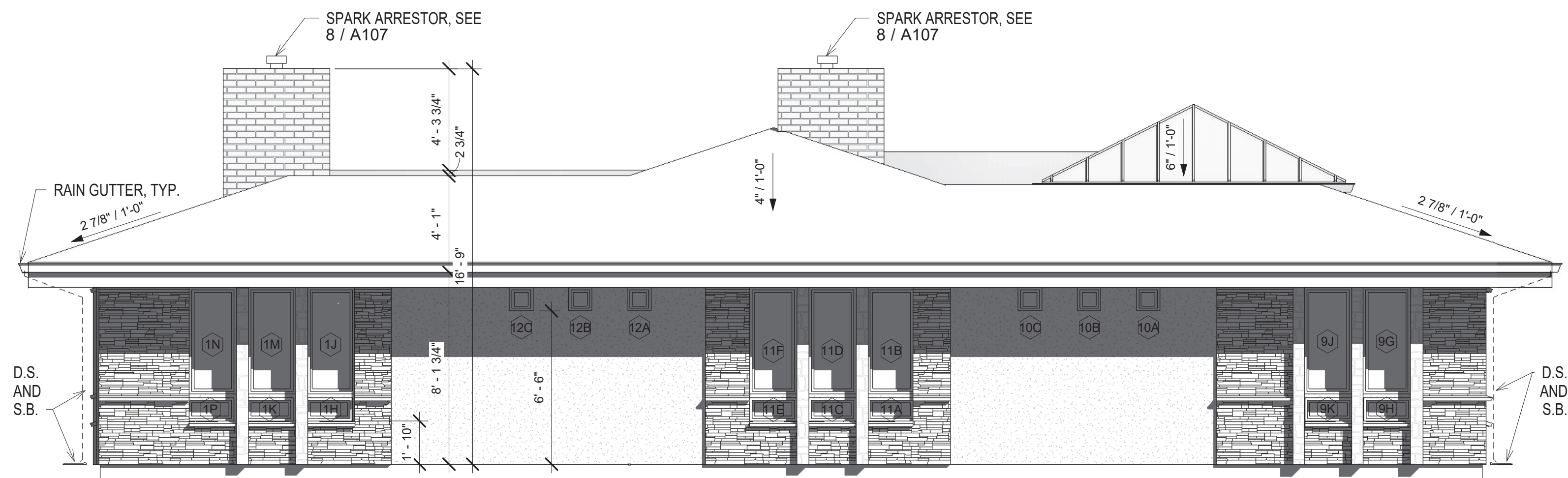
1. AREA OF ROOF: 2,744 SF
2. BASED ON US FHA 1/150 GUIDELINE, TOTAL VENT AREA NEEDED: 1 SF FOR EVERY 150 SF OF FLOOR AREA = 2744/150 = 18.29 SF = 2634 SQUARE INCHES
3. HIGH VENTS NEEDED: 1,317 SI; TOTAL LOW VENTS NEEDED: 1,317 SI
4. USE NET FREE AREA OF RIDGE VENT OF 15.2 SQUARE INCHES PER LINEAR FEET. 92 LINEAR FEET OF RIDGE VENT PROVIDED. TOTAL AVAILABLE 1,380 SQUARE INCHES; TOTAL REQUIRED: 1,317 SI THEREFORE ADEQUATE.
5. USE TWO (11) LOW VENTS: VENTSURE ALUMINUM UNDEREAVE INTAKE VENT (8"X16") AT ALL DESIGNATED LOCATIONS ON PLAN; EQUIVALENT ALLOWED FROM OTHER MANUFACTURER AS LONG AS NET FREE AREA IS GREATER THAN MINIMUM REQUIRED. ENSURE THAT STUCCO DOES NOT COME IN CONTACT WITH ALUMINUM OF VENT OR GRILLE, IF PROVIDED AS ALUMINUM, IN ORDER TO PREVENT CORROSIVE ACTION BY WAY OF PAINT OR BLOCKING. PROVIDED AREA = 1,408 SI > 1,317 SI. ALTERNATIVE ALLOWED AS LONG AS COMBINED NET FREE AREA IS 1,317 SI OR GREATER.



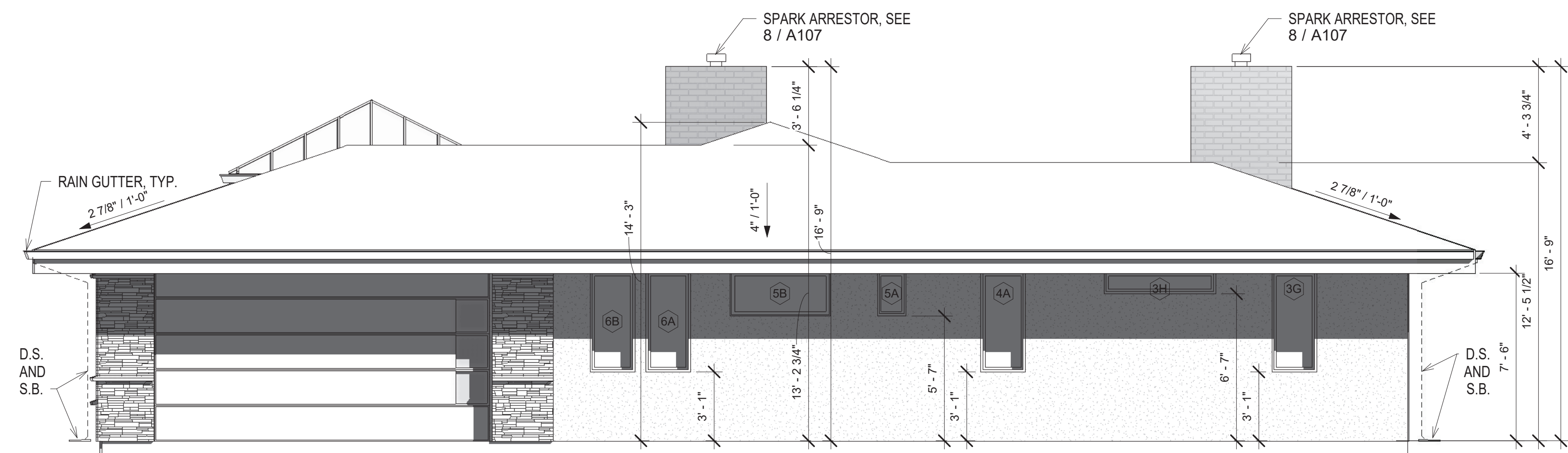
2 South
1/4" = 1'-0"



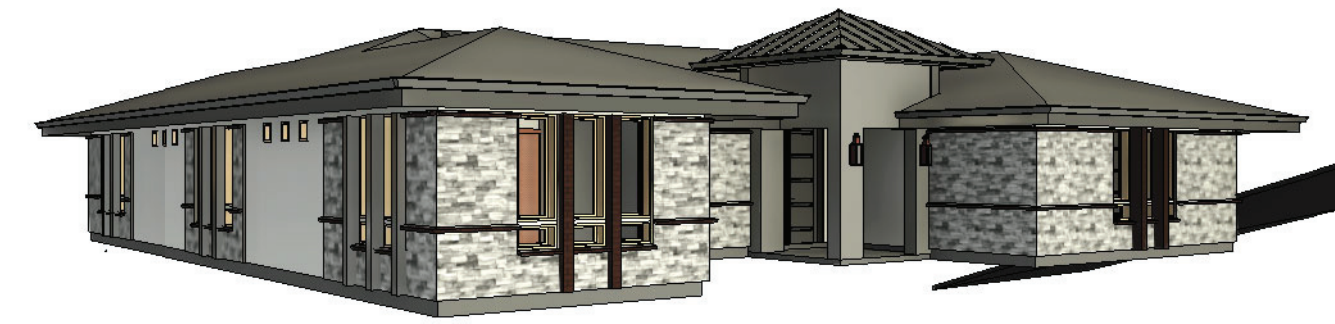
1 North
1/4" = 1'-0"



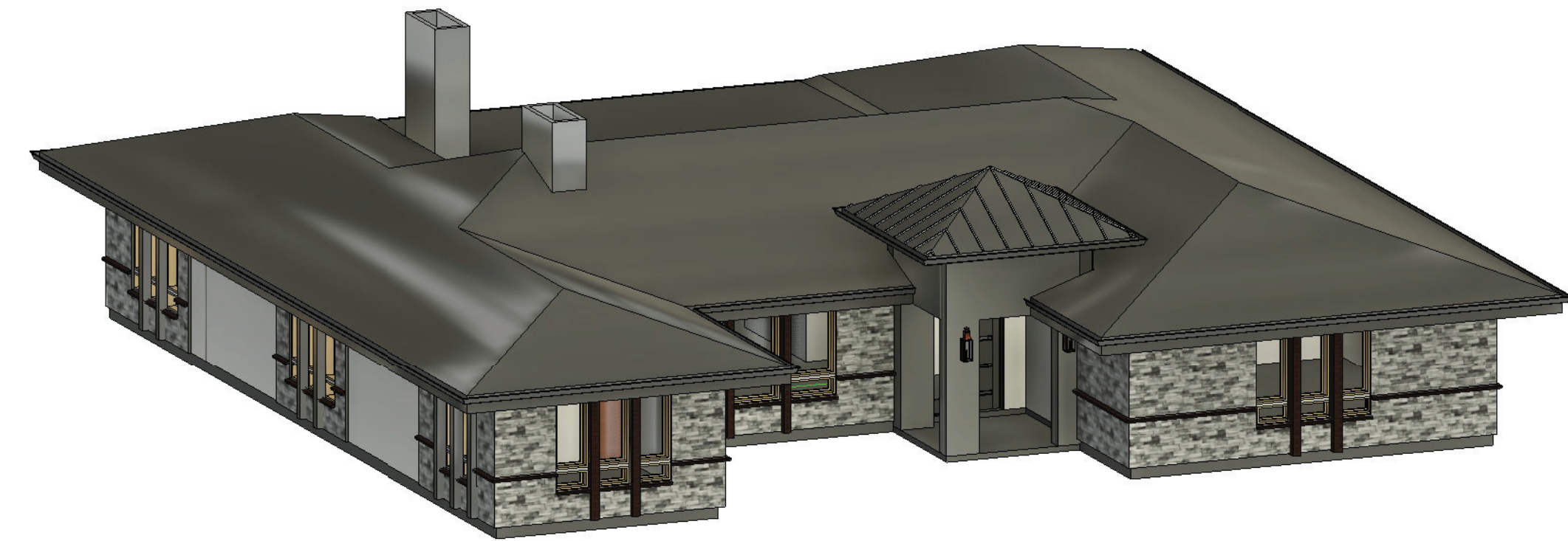
3 West
1/4" = 1'-0"



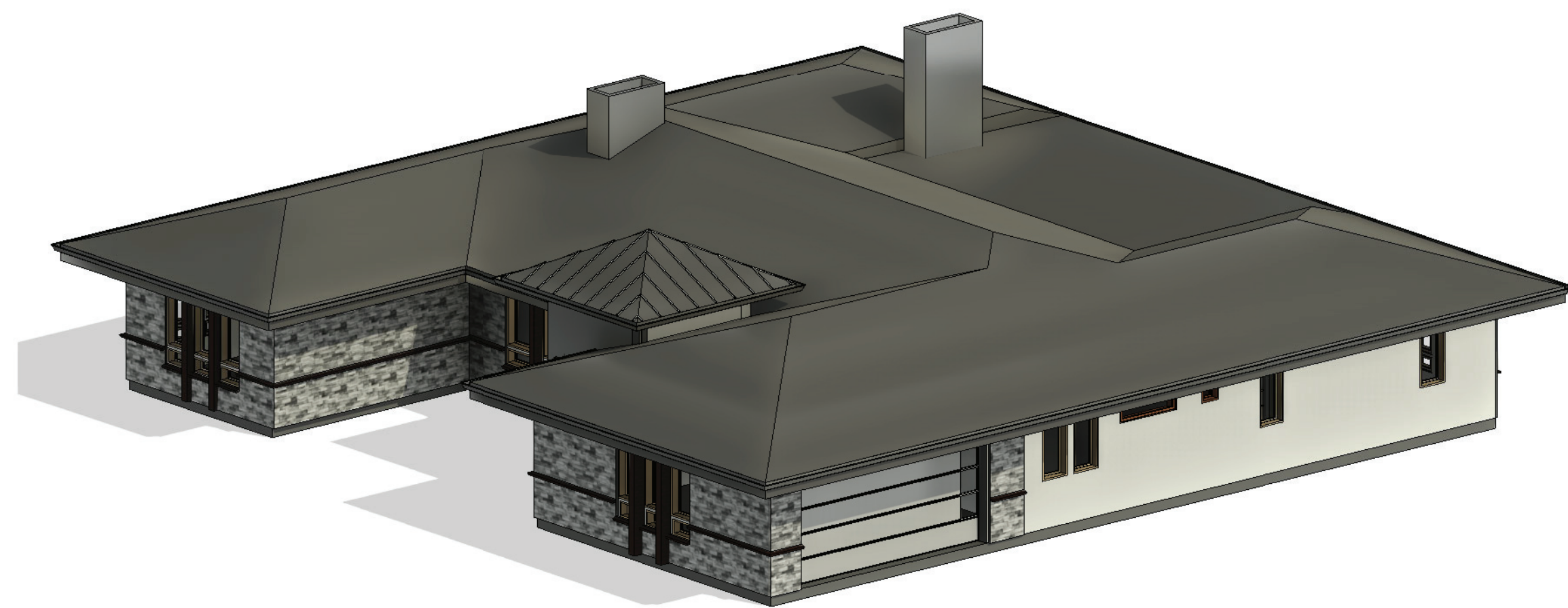
4 East
1/4" = 1'-0"



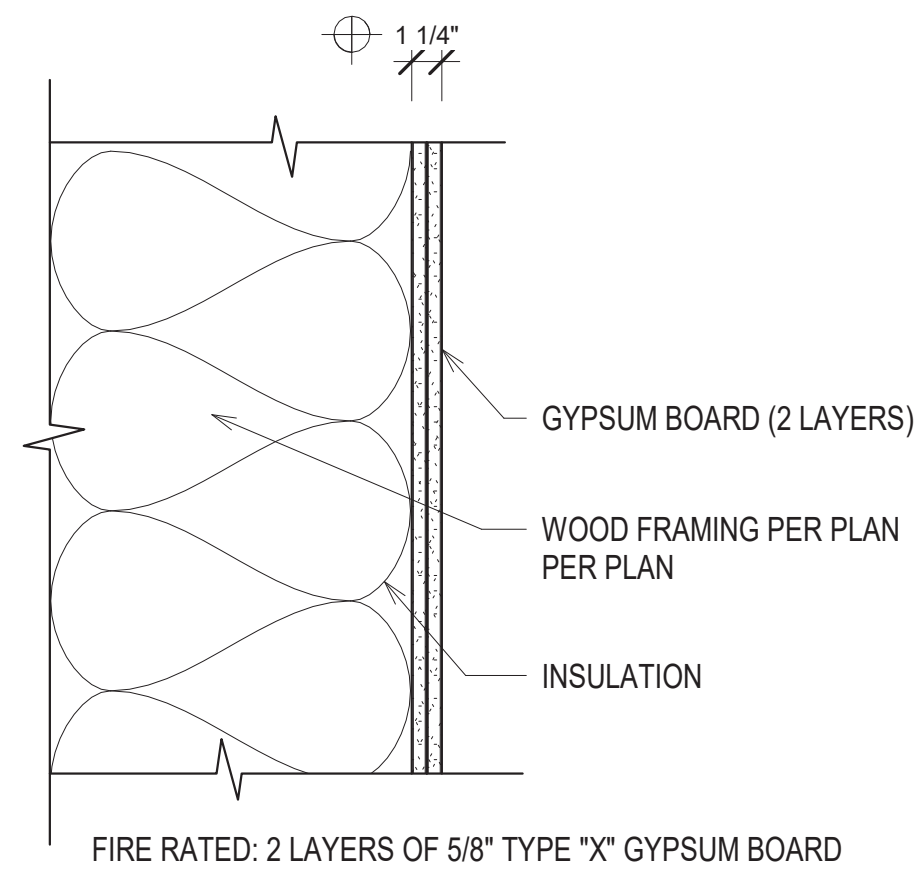
5 3D View 1



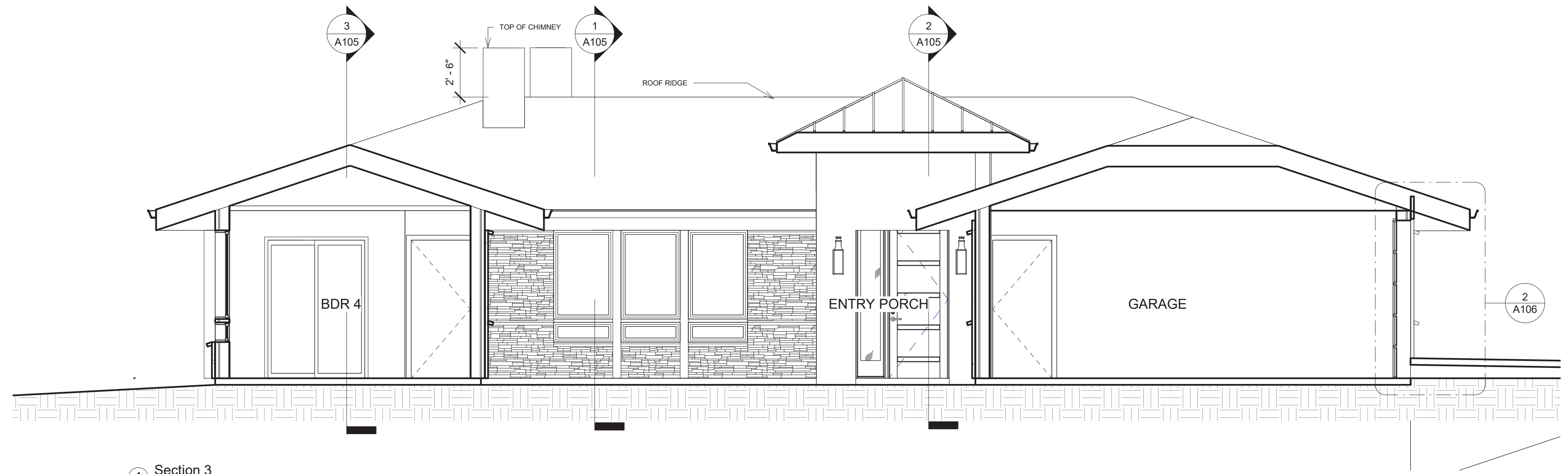
6 3D VIEW 2



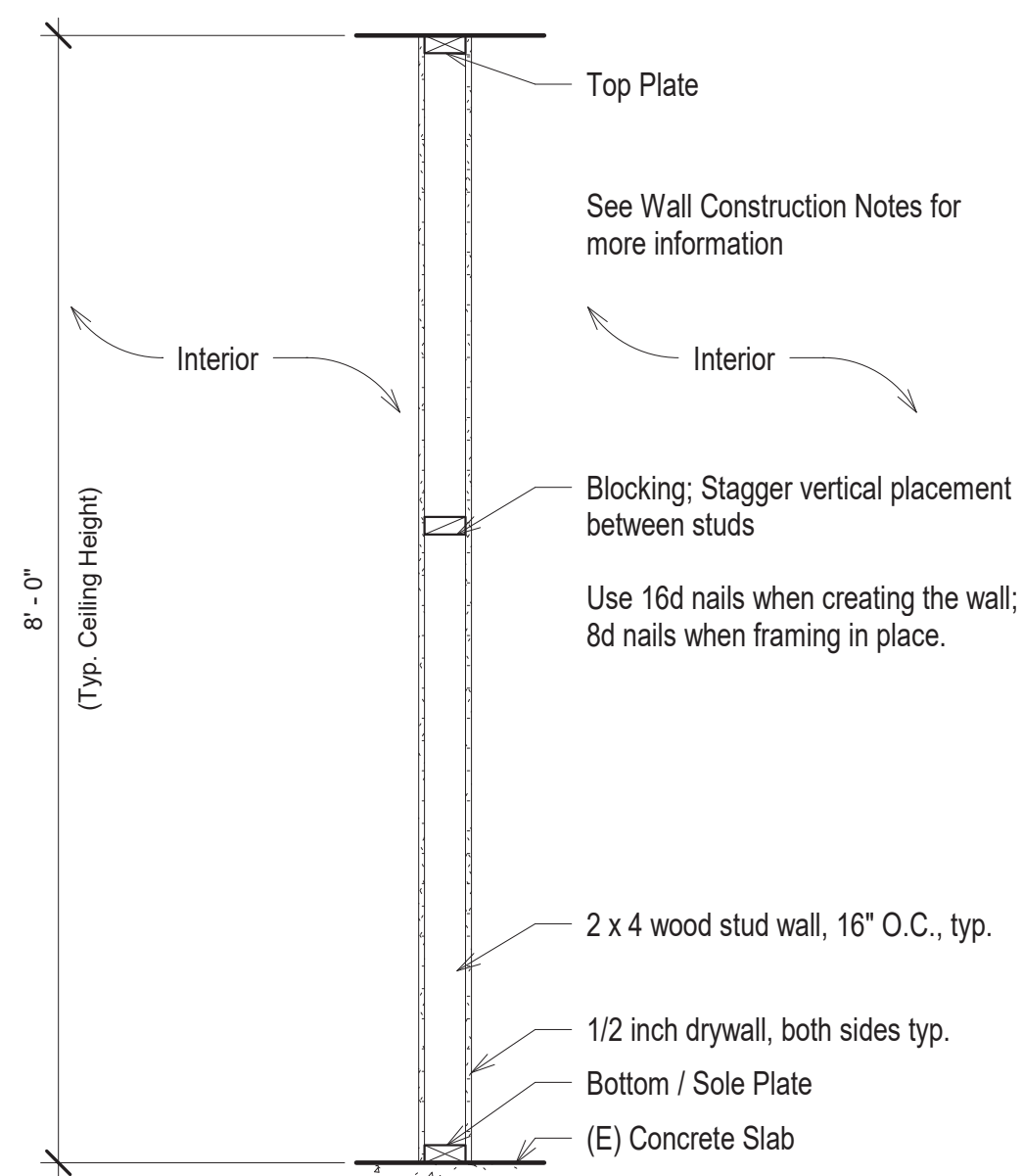
7 (3D) Copy 2



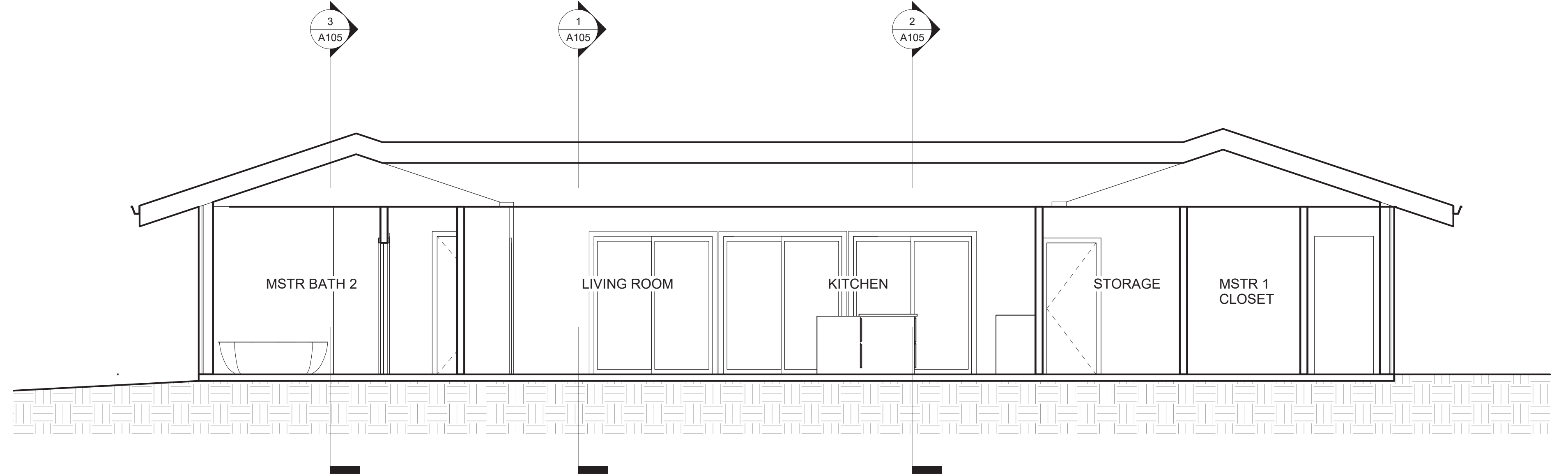
6 W3 - 1 HOUR WALL AT GARAGE
1 1/2" = 1'-0"



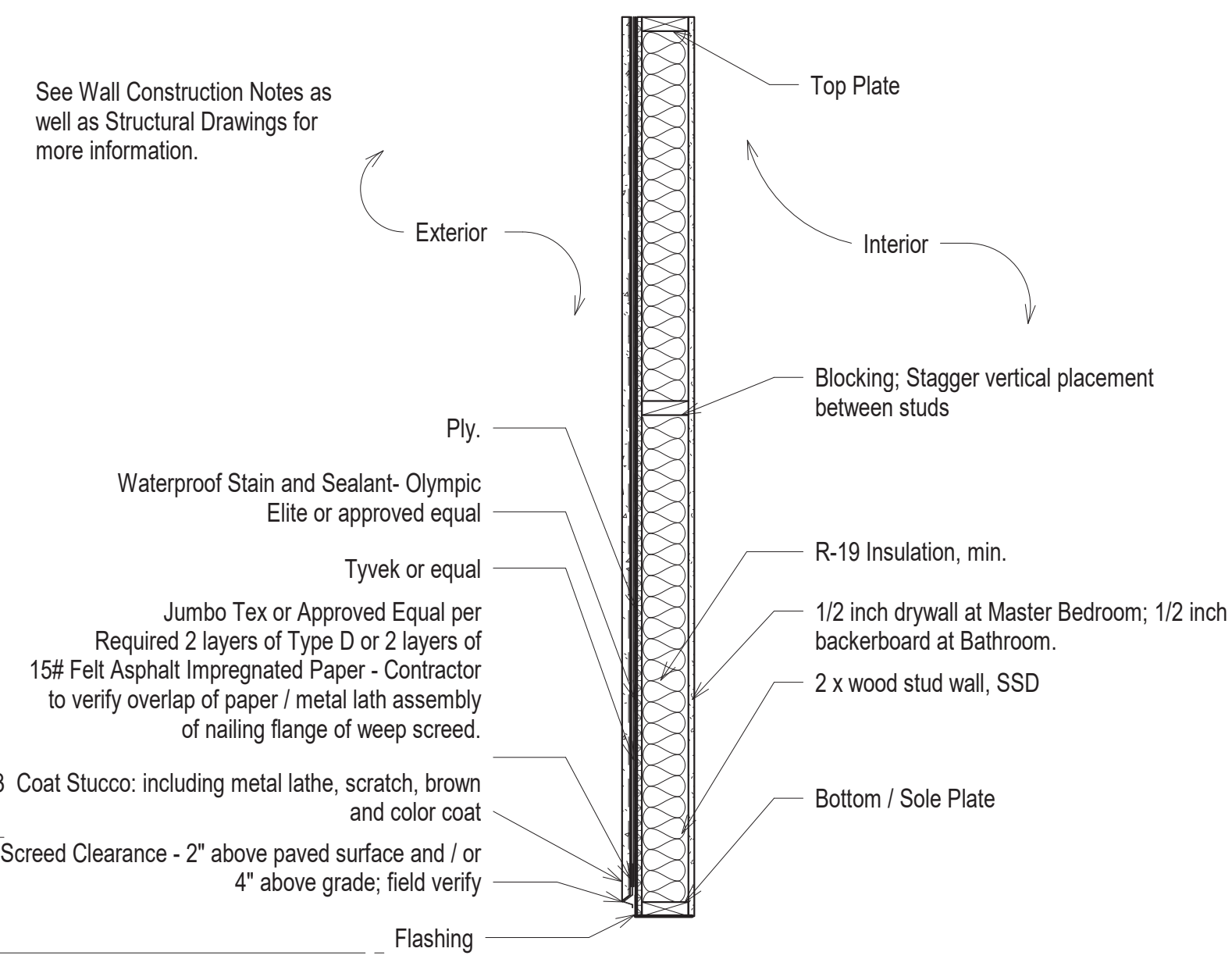
1 Section 3
1/4" = 1'-0"



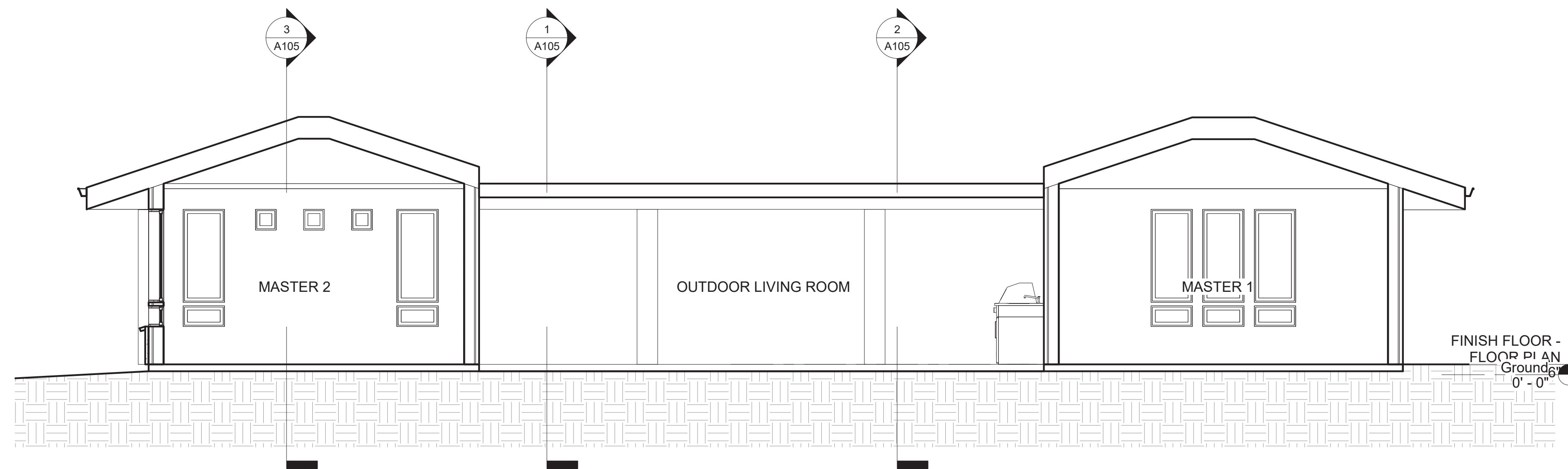
5 W2 - BASIC INTERIOR WALL
3/4" = 1'-0"



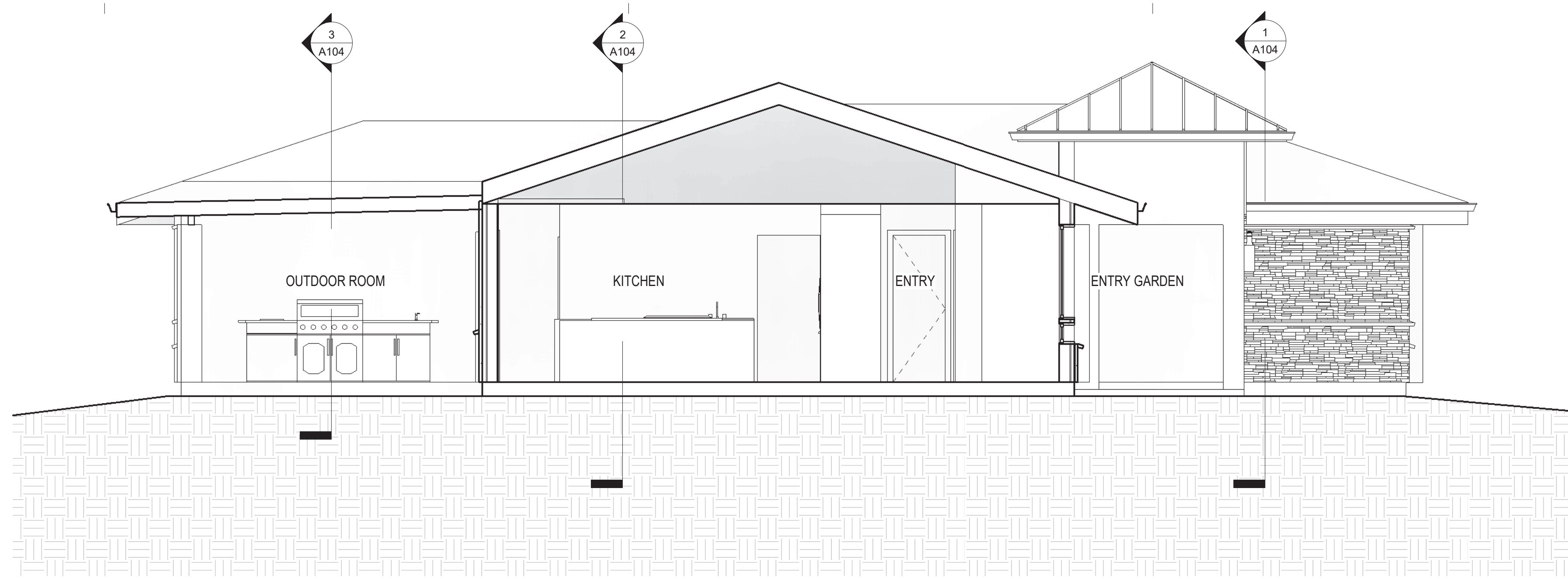
2 Section 2
1/4" = 1'-0"



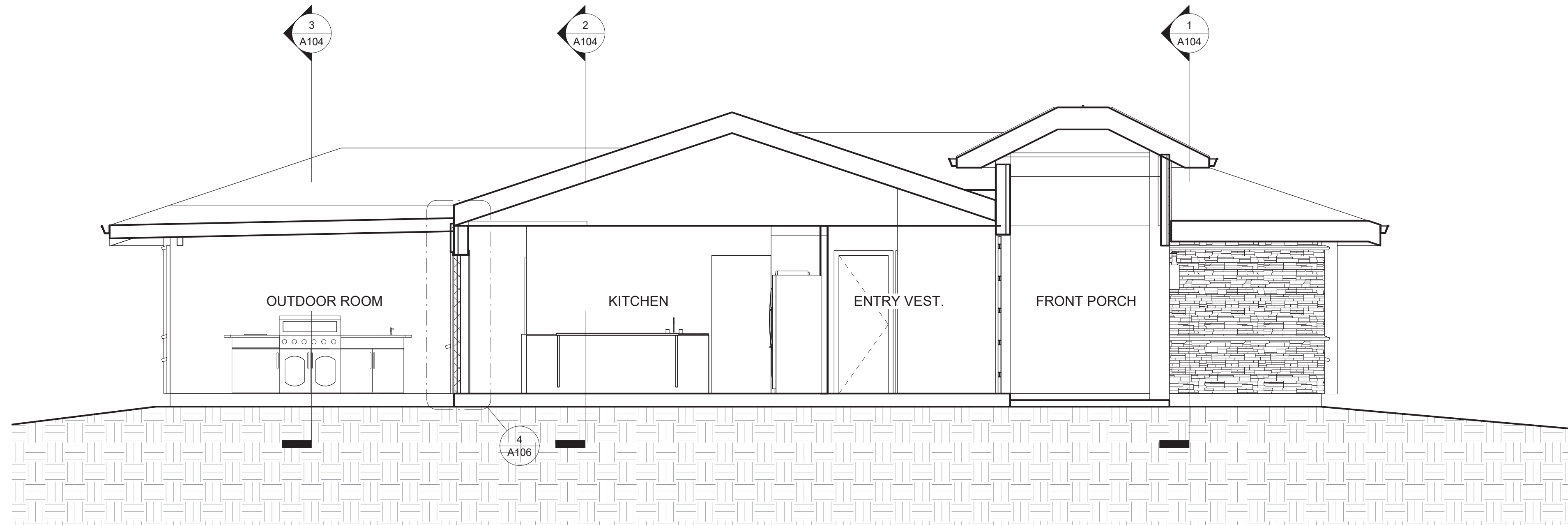
4 W1 - STUCCO EXTERIOR
3/4" = 1'-0"



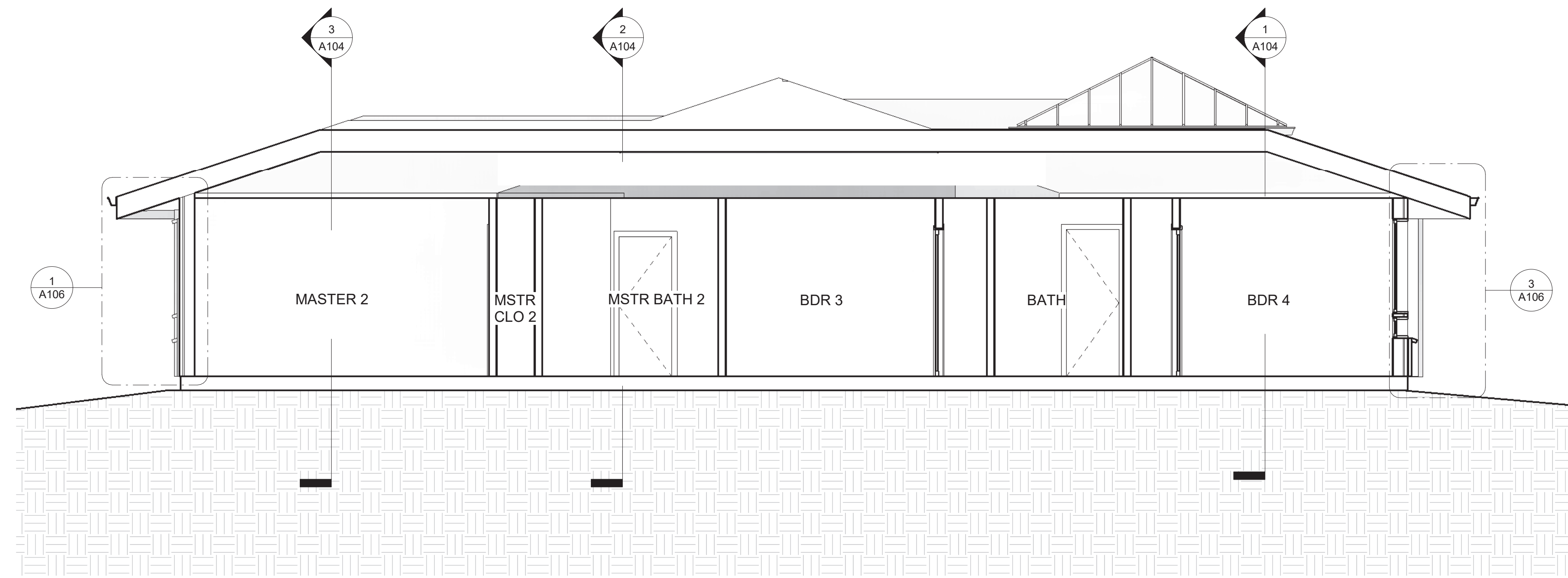
3 Section 1
1/4" = 1'-0"



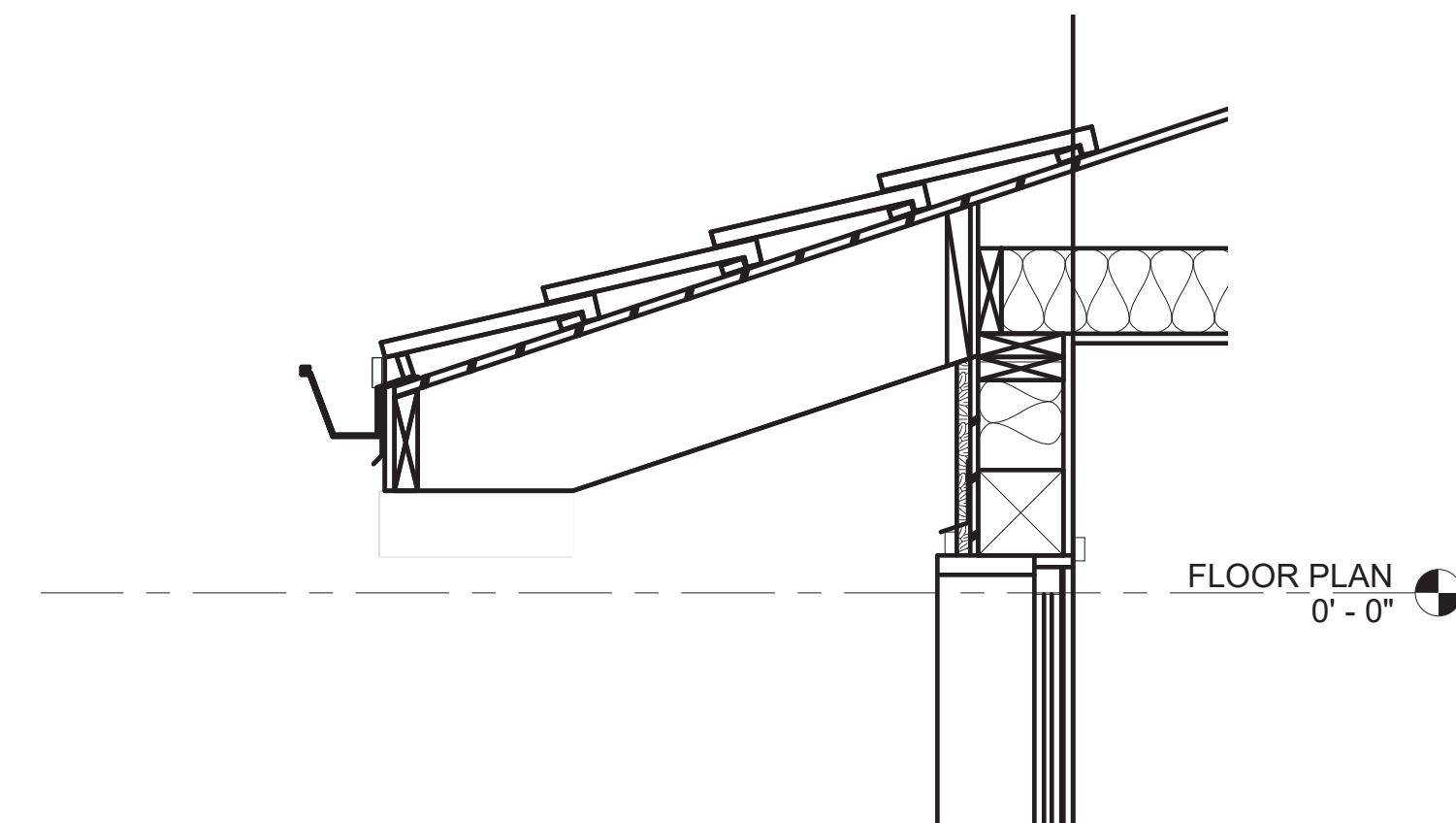
① Section 6
1/4" = 1'-0"



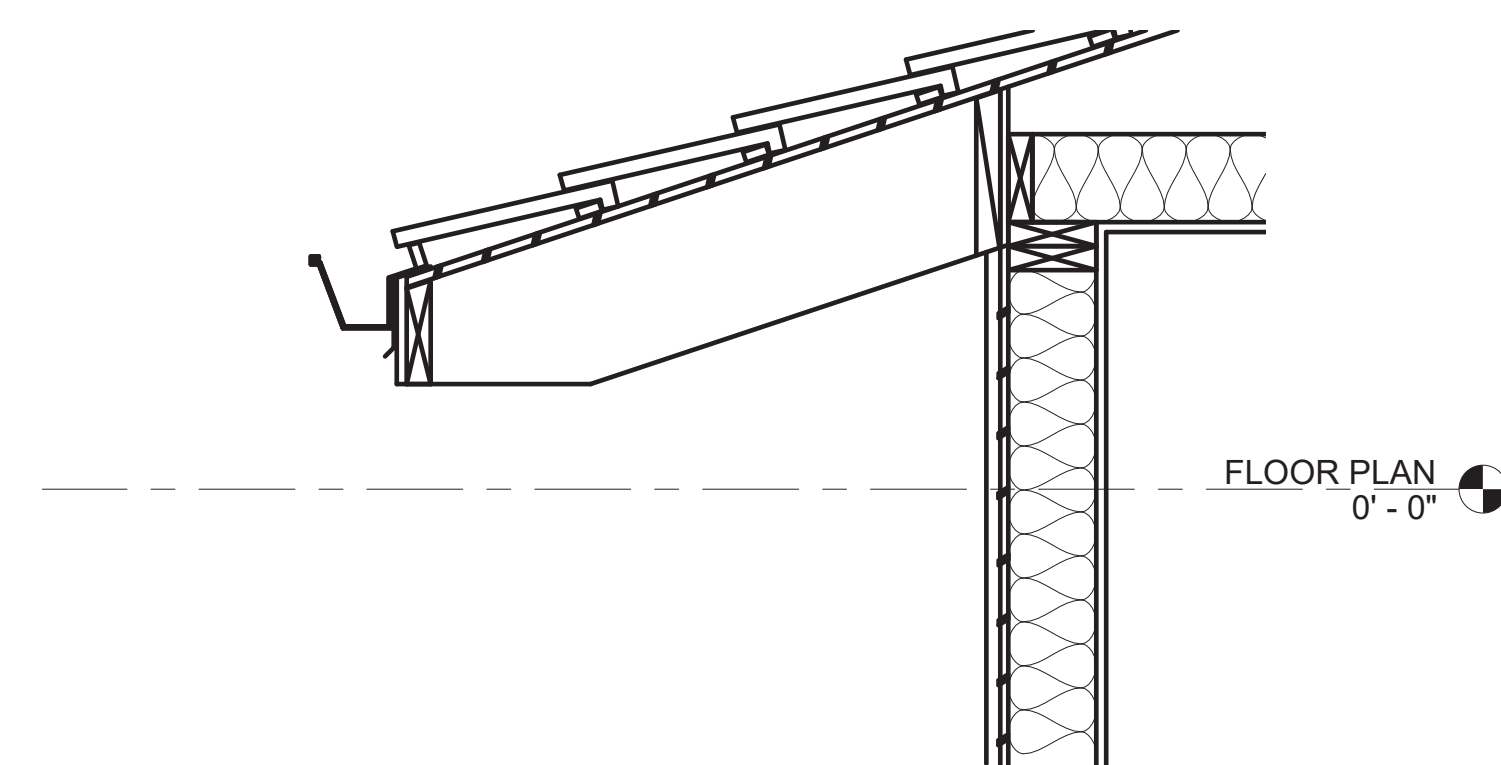
② Section 5
1/4" = 1'-0"



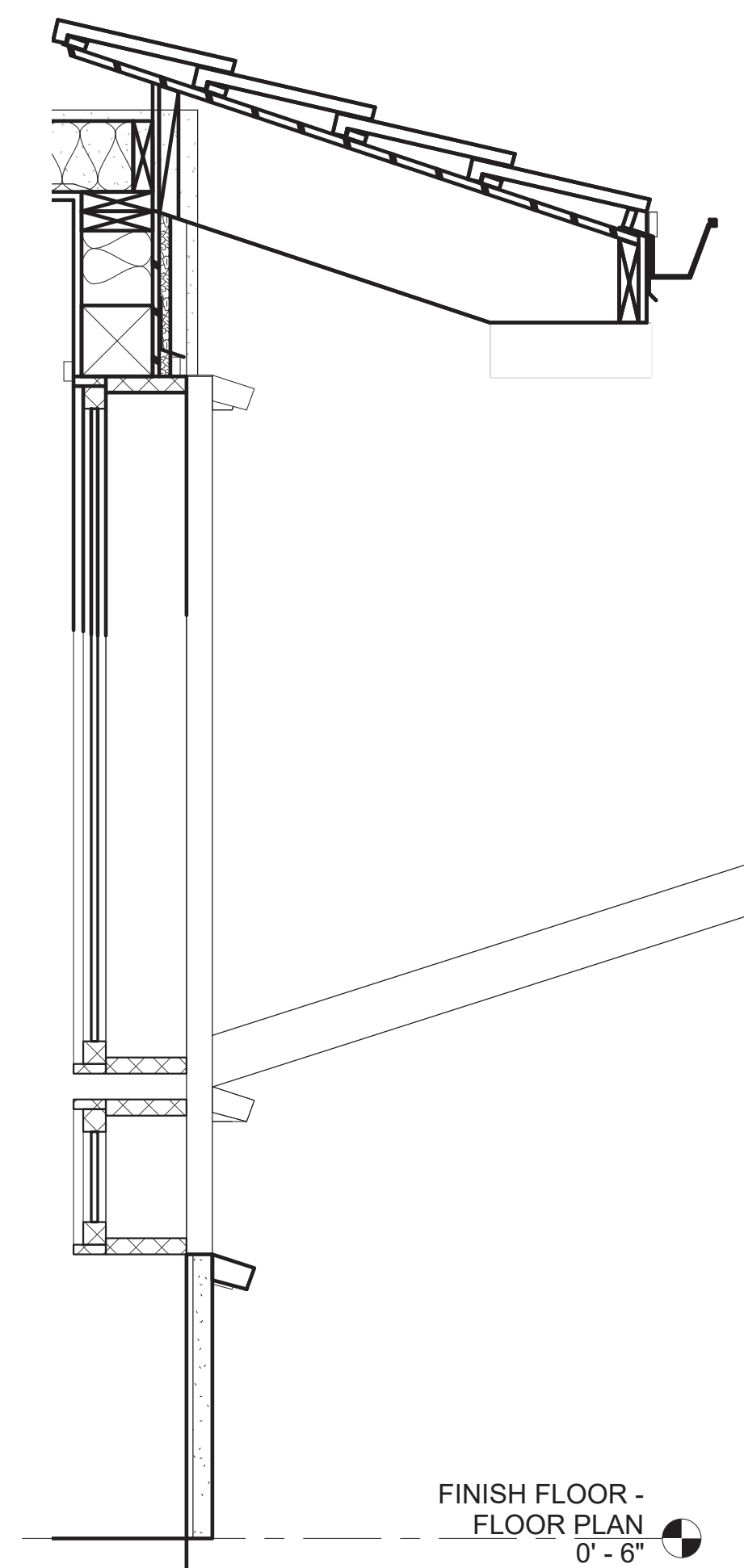
③ Section 4
1/4" = 1'-0"



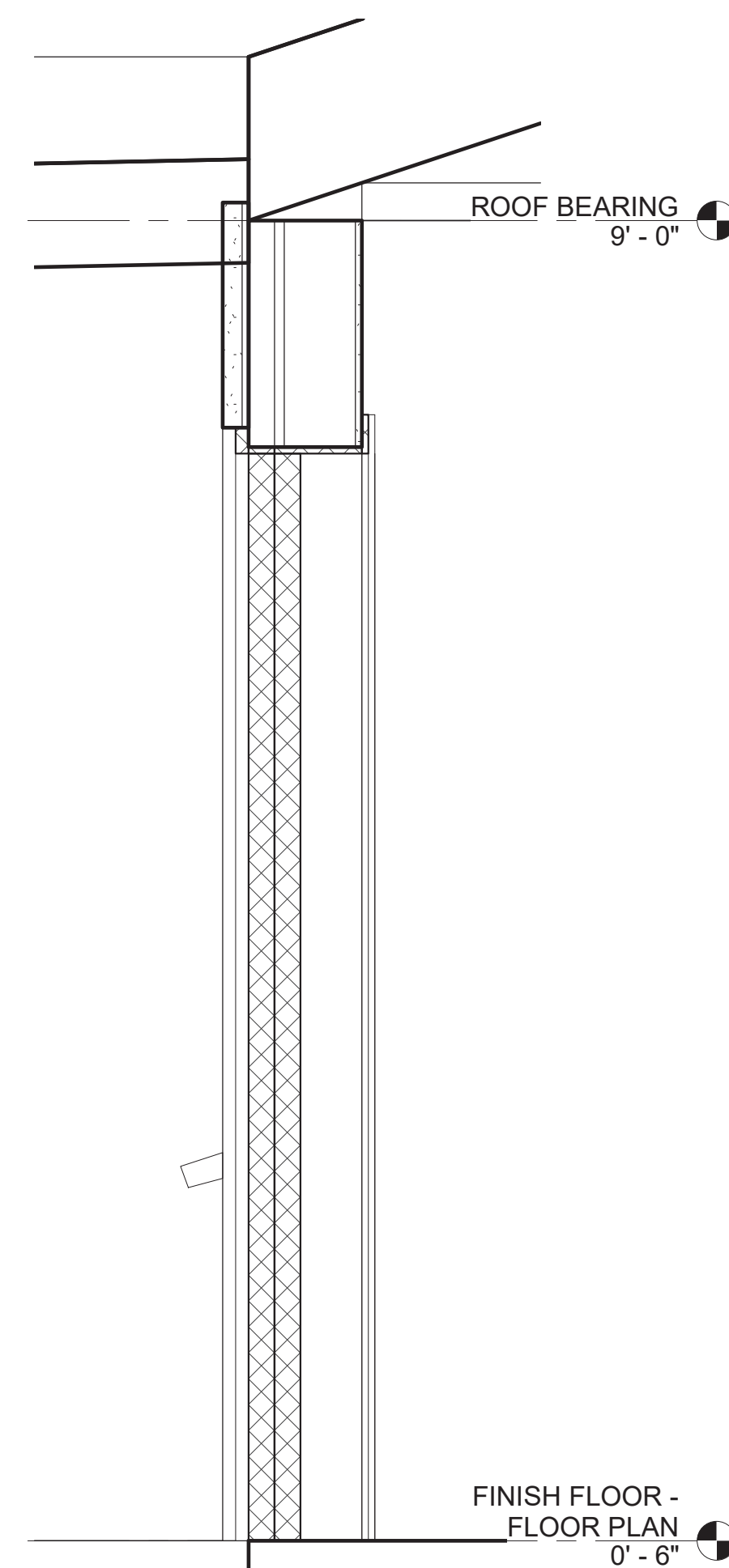
⑤ TYP HEAD AT FIXED GLASS
1" = 1'-0"



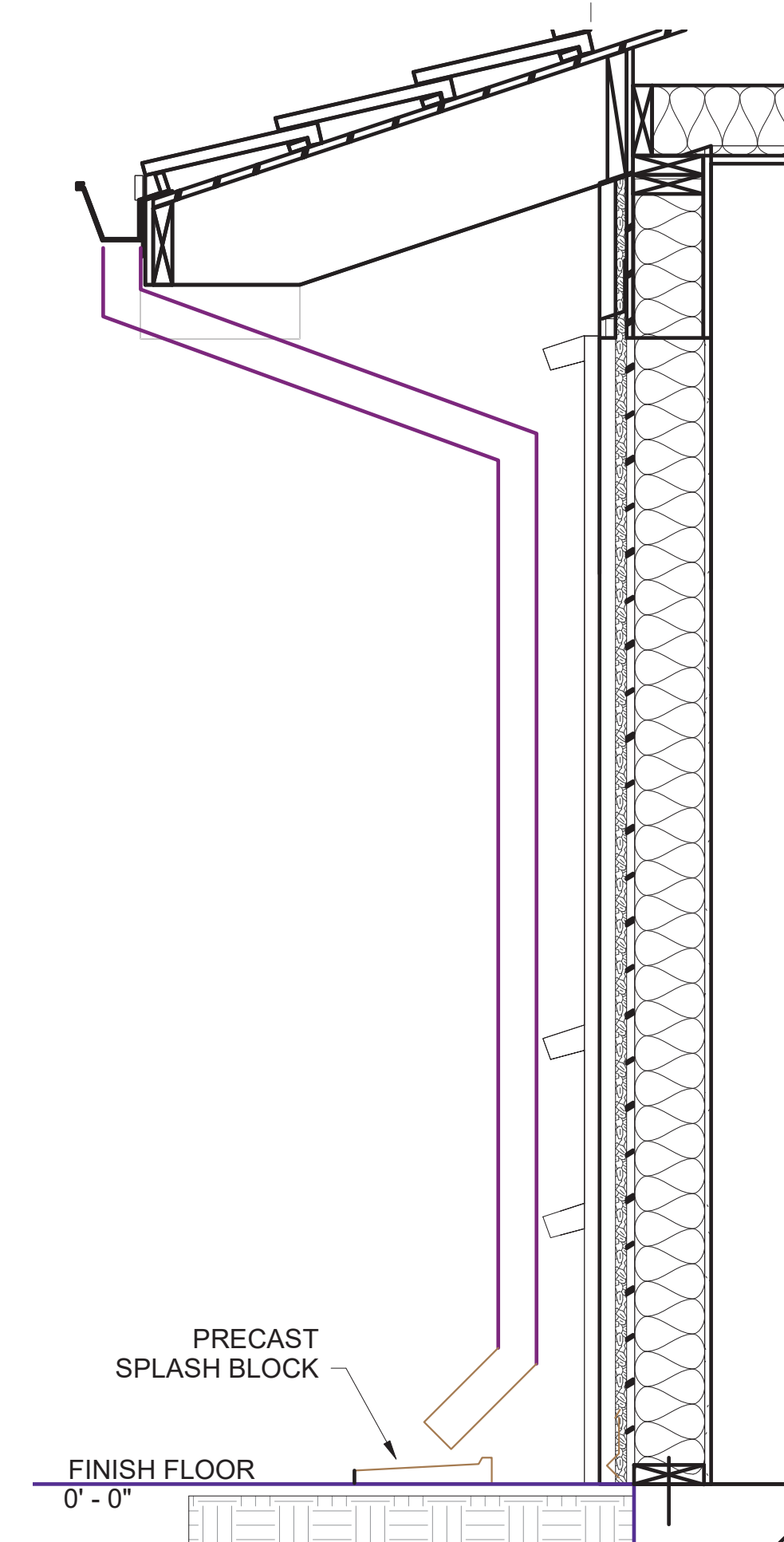
⑥ ROOF DETAIL - TYP HIP EAVE WITH GUTTER
1" = 1'-0"



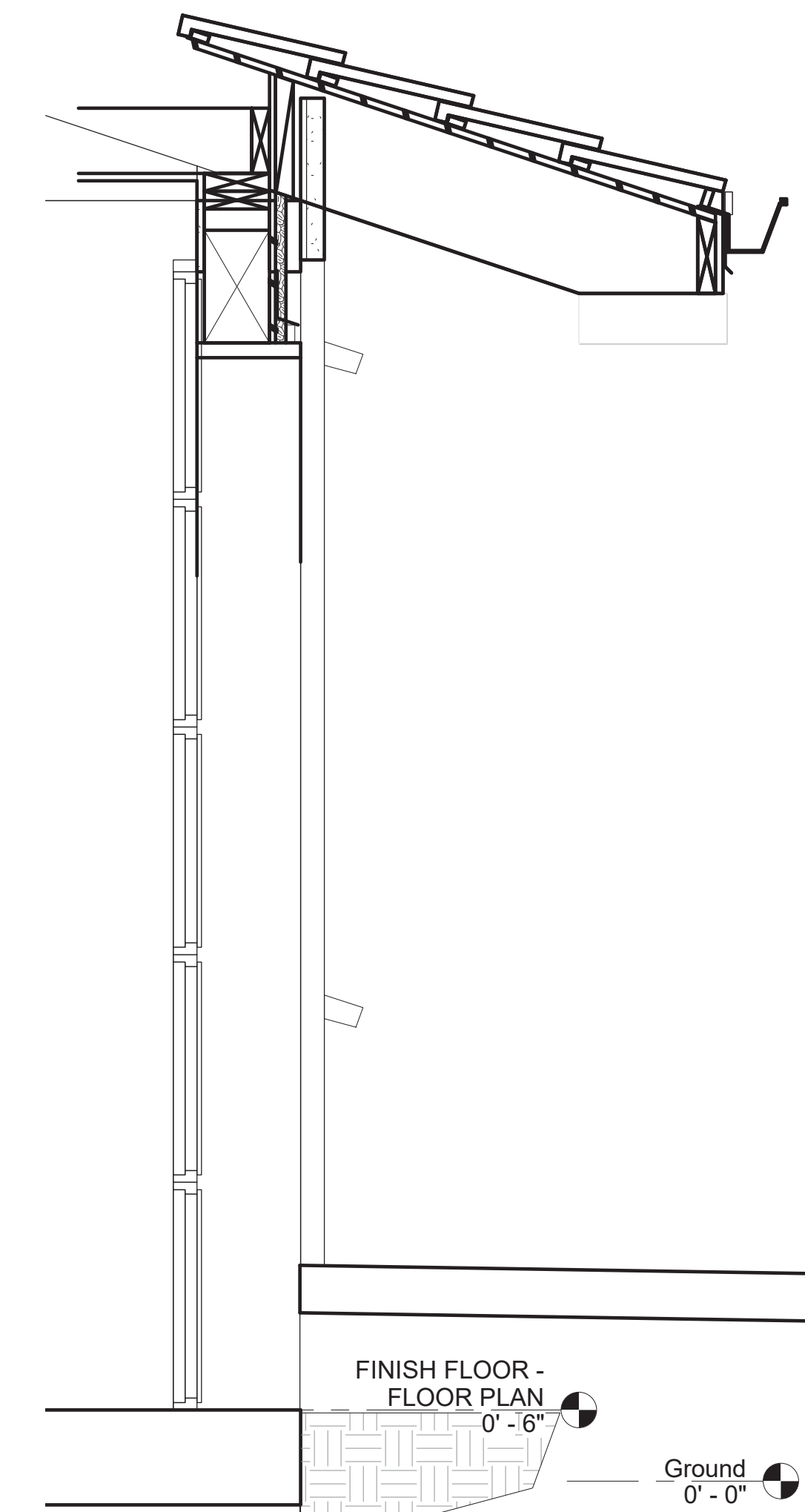
③ Section 4 - WALL SECTION AT FIXED GLASS WINDOW HEAD, MULLION, AND SILL
1" = 1'-0"



④ Section 5 - WALL SECTION AT FLAT ROOF TRANSITION
1" = 1'-0"



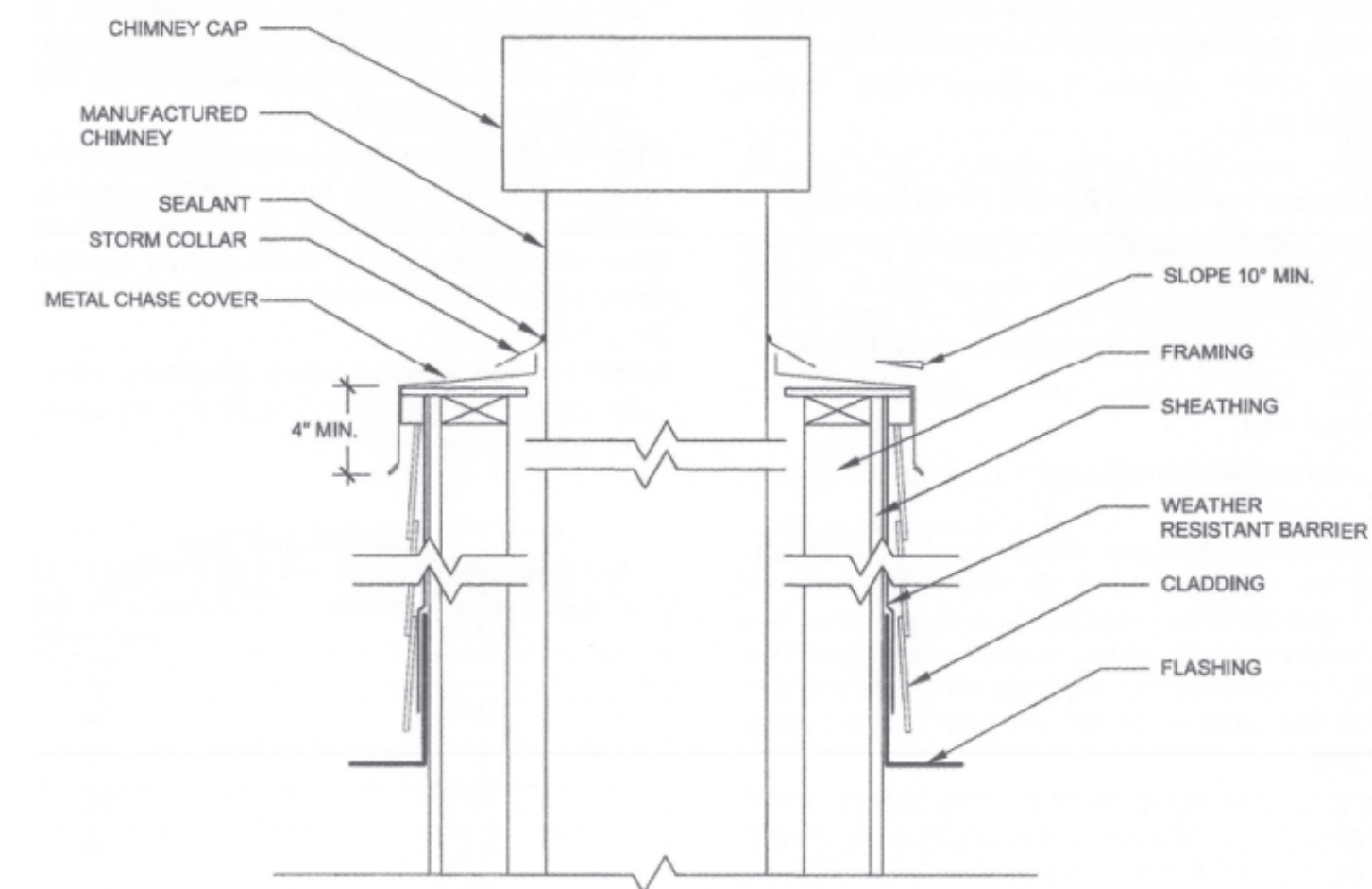
① Section 4 TYP GUTTER, DOWNSPOUT AND SPLASH BLOCK
1" = 1'-0"



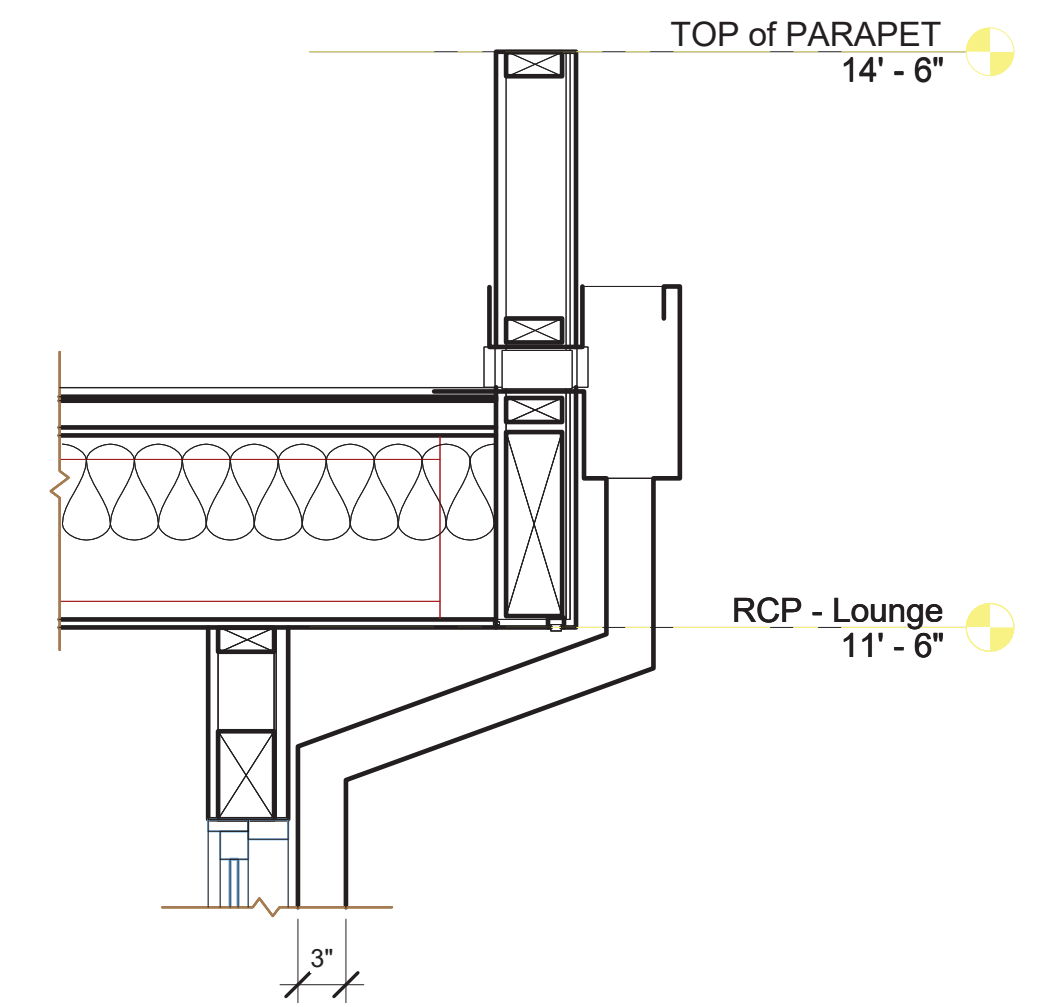
② Section 3 - WALL SECTION AT GARAGE DOOR
1" = 1'-0"

DETAIL NOTES

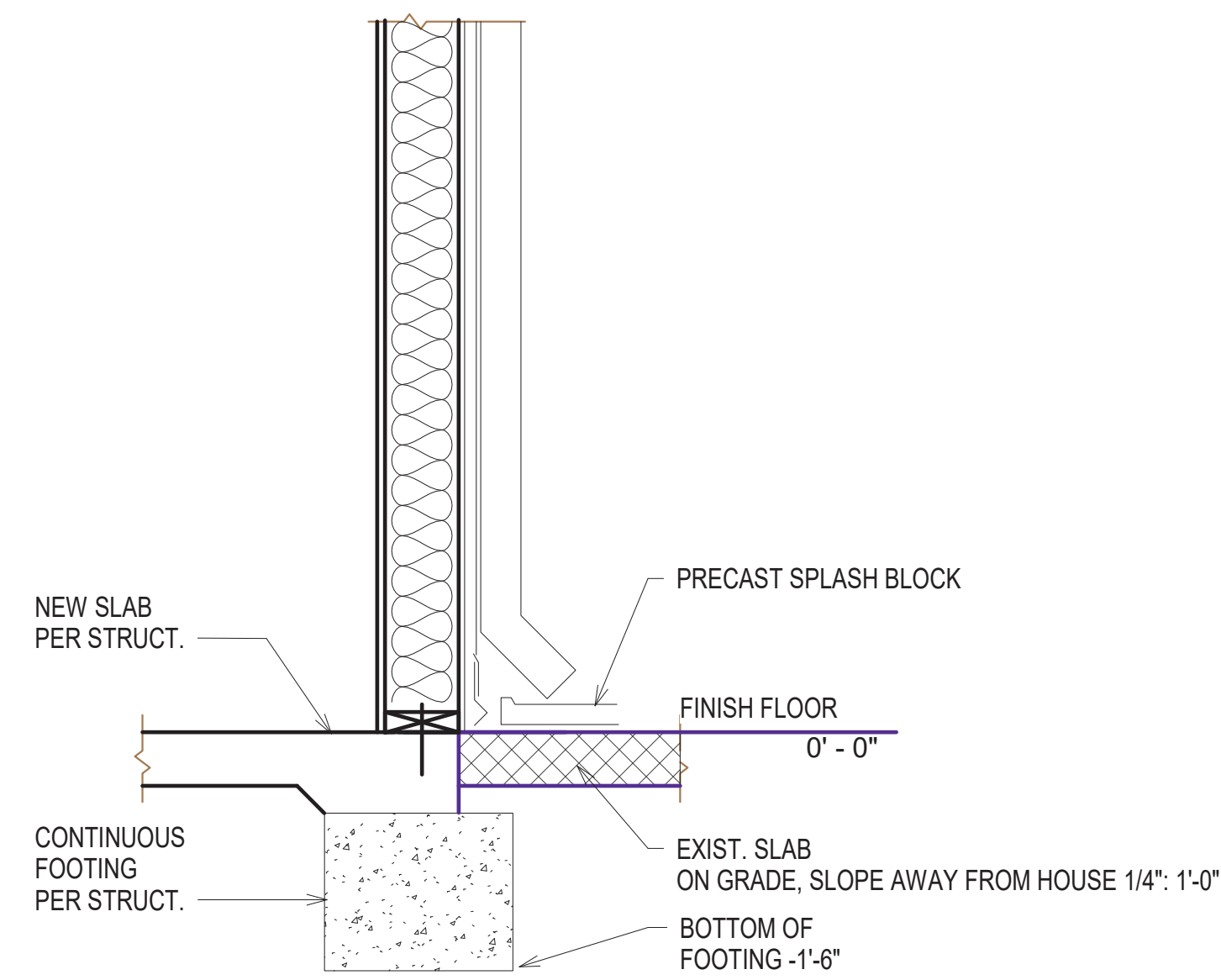
1. ALL HORIZONTAL AND VERTICAL DIMENSIONS TO BE VERIFIED IN THE FIELD PRIOR TO ANY WORK.
2. EXTERIOR WALL: 2 X 4 WOOD STUDS AT 16" O.C. FULL HEIGHT AS SHOWN ON EXTERIOR ELEVATIONS.
3. EXTERIOR IS FINISHED WITH 7/8" EXTERIOR PLASTER (THREE COATS) OVER SELF-FURRING DIAMOND MESH OVER 2-LAYERS OF GRADE 'D' PAPER WITH R-21 BATT INSULATION.
4. INTERIOR WALLS 2 X 4 WOOD STUDS AT 16" O.C. TO THE UNDERSIDE OF THE ROOF FRAMING WITH 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE FULL HEIGHT WITH BATT INSULATION.
5. SLOPE FINISHED DECK AWAY FROM BUILDING 2% MAXIMUM AND 1% MINIMUM.
6. ALL OCCUPIABLE SPACES TO BE INSULATED WITH MINIMUM R-21 IN EXTERIOR WALLS AND R-30 IN CEILING / ROOF SPACES.
7. REFER TO STRUCTURAL DRAWING FOR SIZES AND CONNECTIONS OF ALL STRUCTURAL ELEMENTS.
8. THE PURPOSE OF ALL BUILDING SECTIONS IS TO CLARIFY DESIGN INTENT. REFER TO FLOOR PLANS, REFLECTED CEILING PLANS, AND ELEVATIONS PRIOR TO COMMENCING OR PROCEEDING WITH THE WORK.



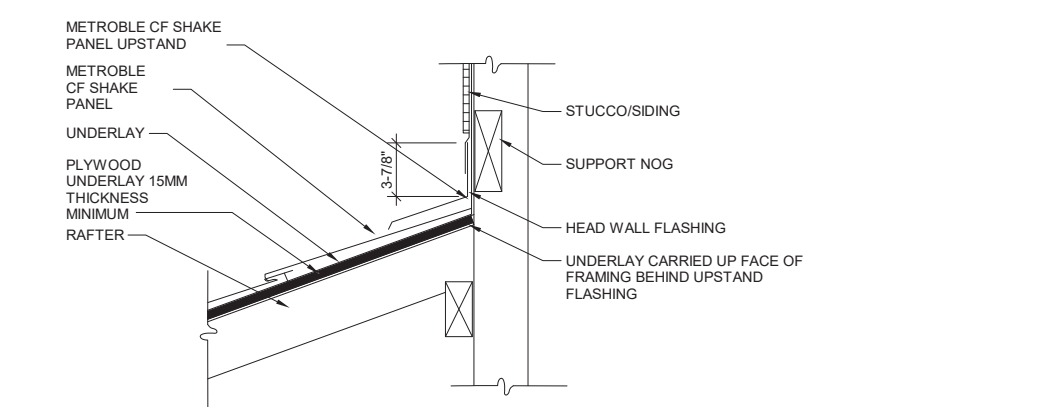
8 SPARK ARRESTOR
3/4" = 1'-0"



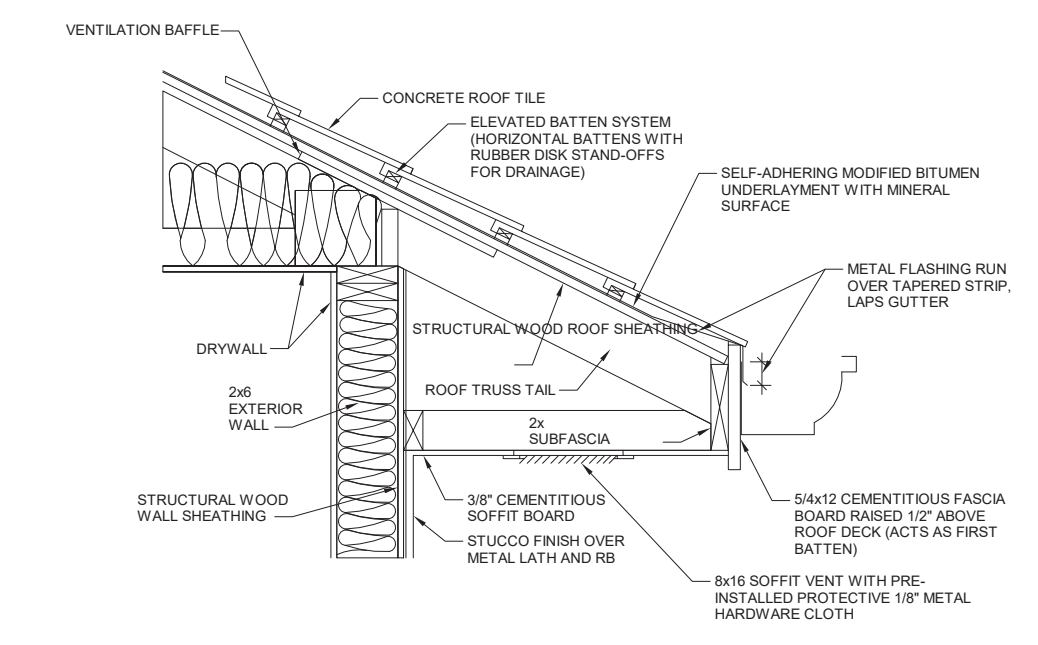
5 EAVE AT GUTTER AND DOWNSPOUT
1" = 1'-0"



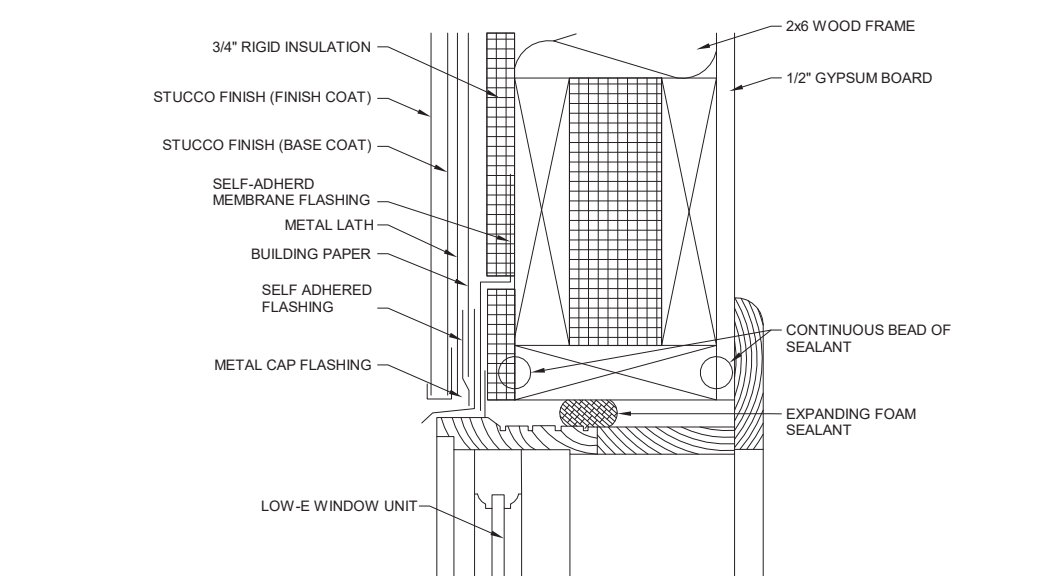
7 TYP. EXT WALL AT DOWNSPOUT
1" = 1'-0"



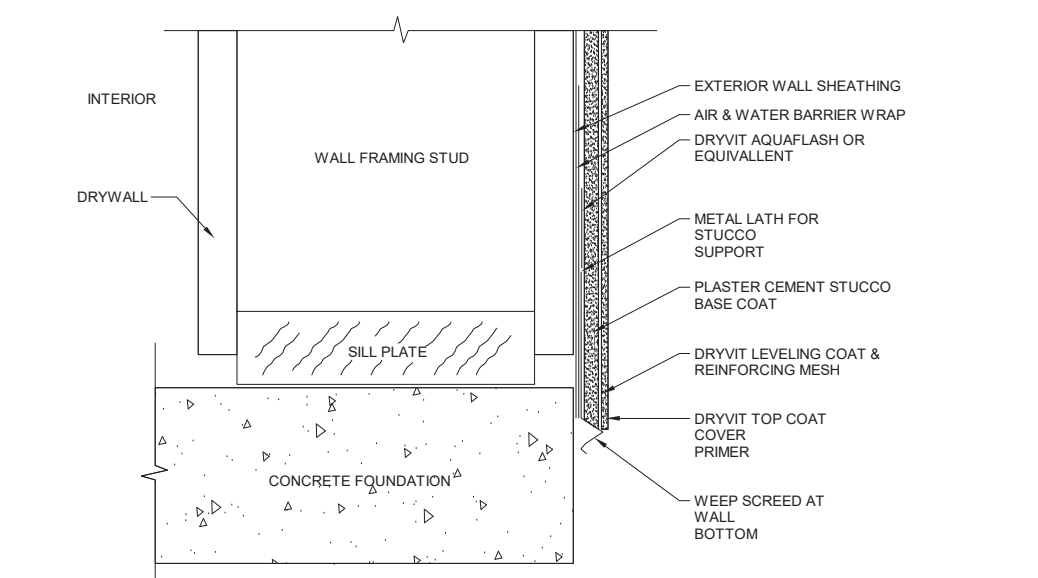
4 WALL ROOF INTERSECTION
3/4" = 1'-0"



3 SOFFIT AND FASCIA DETAIL
3/4" = 1'-0"



2 WINDOW HEAD AT STUCCO
3/4" = 1'-0"



1 STUCCO WEEP SCREED AT DECK
3/4" = 1'-0"